

	TEDD	NCE.	VILLA A VILLA B		COURTYARD TRADITIONAL		FAN.	111.1/	LADGE	LIOT					
	TERRA	ACE	VILLA	N A	VILL	4 6	COURT	COOKITARD		IRADITIONAL		FAMILY		LARGE LOT	
Typical Lot Frontage	7.5 - 9	Qm	10.0.1	10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		n ±	
**				10.0 - 11.9m									20m +		
Typical Lot Depth	30n	n	30n	n	30r	m	30	m	30	m	30	m	30m		
Typical Lot Area	225 - 29	99m²	300 - 38	59m²	360 - 4	19m²	420 - 4	79m²	480 - 5	i39m²	540 - 6	899m²	600r	n² +	
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	
Side Boundary Setback															
	Manda	toni	Mondo	4	0-4:-				0 11		0 11		0 11		
Built to Boundary	Ivialiua	погу	Manda	itory	Optio	onal	Optio	onal	Optio	onal	Optio	onal	Optio	onai	
Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	nal 1.0m	0.0 - 0.2m	nal 1.5m	0.0 - 0.2m	onal 1.5m	0.0 - 0.2m	nal 1.5m	0.0 - 0.2m	1.5m	
Built to Boundary  Non Built to Boundary							•						· · · · · · · · · · · · · · · · · · ·		
	0.0 - 0.2m 0.9m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	
Non Built to Boundary	0.0 - 0.2m 0.9m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	
Non Built to Boundary Corner Lots- Secondary	0.0 - 0.2m 0.9m 1.5m	1.0m 0.9m	0.0 - 0.2m 0.9m	1.0m 0.9m 1.5m	0.0 - 0.2m 1.0m	1.0m 1.0m	0.0 - 0.2m 1.0m	1.5m 1.5m 1.5m	0.0 - 0.2m 1.0m	1.5m 1.5m 1.5m	0.0 - 0.2m 1.0m	1.5m 1.5m 2.0m	0.0 - 0.2m 1.5m	1.5m 1.5m 2.0m	
Non Built to Boundary Corner Lots- Secondary Road Frontage*	0.0 - 0.2m 0.9m 1.5m	1.0m 0.9m 1.5m	0.0 - 0.2m 0.9m 1.5m	1.0m 0.9m 1.5m	0.0 - 0.2m 1.0m	1.0m 1.0m 1.5m	0.0 - 0.2m 1.0m	1.5m 1.5m 1.5m	0.0 - 0.2m 1.0m	1.5m 1.5m 1.5m	0.0 - 0.2m 1.0m	1.5m 1.5m 2.0m	0.0 - 0.2m 1.5m 2.0m	1.5m 1.5m 2.0m	
Non Built to Boundary Corner Lots- Secondary Road Frontage* Maximum Site Cover	0.0 - 0.2m 0.9m 1.5m 75% Min area =	1.0m 0.9m 1.5m	0.0 - 0.2m 0.9m 1.5m	1.0m 0.9m 1.5m	0.0 - 0.2m 1.0m 1.5m	1.0m 1.0m 1.5m	0.0 - 0.2m 1.0m 1.5m	1.5m 1.5m 1.5m	0.0 - 0.2m 1.0m 1.5m	1.5m 1.5m 1.5m % = 15sqm	0.0 - 0.2m 1.0m 2.0m	1.5m 1.5m 2.0m	0.0 - 0.2m 1.5m 2.0m	1.5m 1.5m 2.0m % = 15sqm	
Non Built to Boundary Corner Lots- Secondary Road Frontage* Maximum Site Cover Private Open Space	0.0 - 0.2m 0.9m 1.5m 75% Min area =	1.0m 0.9m 1.5m	0.0 - 0.2m 0.9m 1.5m	1.0m 0.9m 1.5m	0.0 - 0.2m 1.0m 1.5m 60° Min area =	1.0m 1.0m 1.5m % = 15sqm	0.0 - 0.2m 1.0m 1.5m 60 Min area	1.5m 1.5m 1.5m * * = 15sqm	0.0 - 0.2m 1.0m 1.5m 60 Min area	1.5m 1.5m 1.5m ** = 15sqm	0.0 - 0.2m 1.0m 2.0m	1.5m 1.5m 2.0m % = 15sqm	0.0 - 0.2m 1.5m 2.0m 60 Min area	1.5m 1.5m 2.0m % = 15sqm	

EXTENT OF STAGED BUSHLAND

**REHABILITATION WORKS - STAGE 6** 

**OPEN SPACE CORRIDOR** 

on for open structures supporting post/pier can be located 1.0m from secondary road frontag

STAGE 2

STAGE 1

**LINEAR PARK** 

**OPEN SPACE CORRIDOR** 

2.75ha

	Typical				
LOT TYPE	Dimensions	Typical area	STA	GE 6	
TERRACE LOT	7.5 X 30m	225m²	0	0%	
VILLA A	11m X 30m	330m²	5	11%	
VILLA B	12.5m X 30m	375m²	16	35%	
COURTYARD	14m X 30m	420m²	11	24%	
TRADITIONAL	16m X 30m	480m²	10	22%	
FAMILY	18m X 30m	540m²	3	7%	
LARGE LOT	20m X 30m	600m²	1	2%	
LIFESTYLE LOT A	14 x 69m	960m²	0	0%	
LIFESTYLE LOT B	16 x 69m	1100m²	0	0%	
SUB-TOTAL		4		100%	

**729** 

705

515m²

712

713

707

624 375m<sup>2</sup> 623

480m² /

608

621

**924** 1463m²

9 493m²

420m²

420m²

420m²

€ 610 °

420m²

/ 330m² / **728** 

716

717

726

**725** / 420*m*²

719

720

375m²

**917** 977m²

723

	(ha)
Total Stage Area	6.10
Linear Park	0.37
Neighbourhood Recreation Park	0.00
Open Space Corridor	2.16
Indicative Stormwater Management Area	0.13
Pedestrian Link	0.00
Total Area of Road	1.51
Total Area of Residential Allotments	1.93
Length of New Road	Stage 6 (m)
Total Length (m) of Road (21.0m)	270
Total Length (m) of Road (16.0m)	346
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	243



# NOTES

746

747

420m²

**911** 1125m²

936

1016

STAGE 1

1021 /102

375m²

1118 / 1117 / 1116 /

1020

420m²

935

934

933

**932** 330m²

1018

1120

1019

**1119** 375m²

**912** 977m²

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.

### • Letter boxes should be located in close relationship to the front entry. Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan. Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots
- equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

### **Notes applicable to Terrace Home Lots:**

 Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings. **Building Design:** 

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
- verandahs / porches.
- entertaining awnings and shade structures,
- variation to roof and building lines, inclusion of window openings,
- use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
- windows / doors recessed onto the facade,
- balconies, porches or verandahs,
- window hoods,
- minor changes in the building facade (minimum 100mm).

# Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey
- dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width. Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
  - habitable rooms fronting the public street and projecting forward 1.0m from the garage, 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth
  - and cast shadow,
  - a front door incorporating glass or a sidelight incorporating glass,
  - incorporation of a large or multiple habitable room windows fronting the public street,
  - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table. **Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.

# Private open space area to have a minimum width of 3m.

Fencing:

Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

• No habitable building construction is permitted within the Feldspar Fault Zone.

• All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

NOTE: Boreholes within in Stage 7 to be remediated prior to plan sealing of Stage 6.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ **Delegate's approval for** Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

14/12/2023 14/12/2023 --/--/---

**LANDPARTNERS** 

surveyors and planners

SHEET 2 OF 7

GOLDFIELDS

GROUP

HAYFIELD

352 RIPLEY ROAD, RIPLEY

STAGE 6

RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

IPSWICH C.C.

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to

IPSWICH CITY COUNCIL for approval to reconfigure the land

LandPartners Pty Ltd accepts no responsibility for any loss or

corporation who may use or rely on this plan in contravention

(ii) The contours shown in this plan are suitable only for the

purposes of this application. The accuracy of the contours has

not been verified and no reliance should be placed upon such

contours for any other purpose other than the purpose of this

(iii) The dimensions, areas, number of lots, size and location of

improvements & flood information (if shown) are approximate

only and may vary subject to engineering design changes, field

survey and requirements for lodgement of survey plans in the

SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER

SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER

PEAK URBAN - Q20 20191004\_MP

PEAK URBAN - Q100 20191004\_MP

NEIGHBOURHOOD RECREATION PARK

3 0M WIDE LANDSCAPE ZONE IN

BUILDING RESTRICTION AREA - MINING

PREFERRED DRIVEWAY LOCATION

PRIMARY STREET FRONTAGE

MINING CONSTRAINTS

AREA 2A.1 – UNCONSTRAINED

CONSTRAINT AREA 4 FELDSPAR FAULT ZONE

**BUILDING EXCLUSION ZONE - BOREHOLE** 

NO DEVELOPMENT AREA - ECOLOGICAL AREA

PREFERRED PRIVATE OPEN SPACE LOCATION

AREA 2A.2 – MINING CONSTRAINED AREA

AREA 2A.3 – MINING CONSTRAINED AREA

(REFER TO LATEST GEOTECHNICAL REPORTING PREPARED

BY MORETON GEOTECHNICAL SERVICES PTY LTD)

BY MORETON GEOTECHNICAL SERVICES PTY LTD)

AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144\_2019.05.16\_01

NOT FOR

CONSTRUCTION

Note: Subject Site sourced from 3366 V\_Lot Calcs.dwg.

Note: BAL Lines as per Bushfire Risk Reducers Report,

007.09.20 - Rev 1- Rev 6

**Brisbane Office** 

18 Little Cribb Stree Milton Qld 4064

PO Box 1399

DRAWN

CHECKED

**APPROVED** 

UDN

Milton Qld 4064

(REFER TO LATEST GEOTECHNICAL REPORTING PREPARED

STORMWATER MANAGEMENT AREA

Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are

of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

described in this plan and is not to be used for any other

damage suffered howsoever arising to any person or

purpose or by any other person or corporation.

application for reconfiguration.

KEY PLAN / NOTES

SUBJECT SITE

TOP OF BANK

--- STAGING BOUNDARY

EDGE OF VEGETATION

BAL 12.5

BAL 19

BAL 29

BAL 40

LINEAR PARK

OPEN SPACE CORRIDOR

**ALLOTMEN** 

LOCATION

MANDATORY BTB WALL

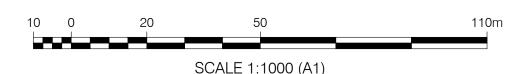
OPTIONAL BTB WALL

LOCAL AUTHORITY

**NOTES** 

BRSS8266-000-2-21

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design



920

921

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

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	TERRA	<b>\CE</b>	VILLA	A A	VILL	АВ	COURT	YARD	TRADIT	IONAL	FAN	IILY	LARGI	ELOT
Typical Lot Frontage	7.5 - 9	.9m	10.0 - 1	10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		n +
Typical Lot Depth	30n	n	30n	n	30r	m	30	m	30	m	30	m	30	m
Typical Lot Area	225 - 29	99m²	300 - 3	59m²	360 - 4	19m <sup>2</sup>	420 - 4	79m²	480 - 5	539m <sup>2</sup>	540 - 6	699m <sup>2</sup>	600r	n <sup>2</sup> +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback														
Built to Boundary	Manda	itory	Manda	tory	Optio	onal	Optio	onal	Optio	onal	Optio	onal	Optio	onal
Built to Bourdary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots- Secondary														
Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m
Maximum Site Cover	75%	6	75%	6	600	%	60	%	60	%	60	%	60	%
Private Open Space	Min area =	: 15sqm	Min area =	: 15sqm	Min area :	= 15sqm	Min area	= 15sqm	Min area	= 15sqm	Min area	= 15sqm	Min area	= 15sqm
On Site Parking	2		2		2		3		3	}	3		3	3
Garage Door Setback	5.4r	n	5.4r	n	5.4	m	5.4	m	5.4	·m	5.4	·m	5.4	·m

cession for open structures supporting post/pier can be located 1.0m from secondary road frontage

STAGE 3

LINEAR PARK

EXTENT OF STAGED BUSHLAND

87.25m

HABILITATION WORKS - STAGE 7

**OPEN SPACE CORRIDOR** 

	Typical			
LOT TYPE	Dimensions	Typical area	STA	GE 7
TERRACE LOT	7.5 X 30m	225m²	0	0%
VILLA A	11m X 30m	330m²	9	19%
VILLA B	12.5m X 30m	375m²	17	36%
COURTYARD	14m X 30m	420m²	17	36%
TRADITIONAL	16m X 30m	480m²	3	6%
FAMILY	18m X 30m	540m²	0	0%
LARGE LOT	20m X 30m	600m²	1	2%
LIFESTYLE LOT A	14 x 69m	960m²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m²	0	0%
SUB-TOTAL			47	100%

830 330m² /831

824/ 823/ 85m²/823/

330m²

630

631

626

375m²

632

625

420m<sup>2</sup>

633

**634** 375m²

623

420m²

640

635 /

622

636

515m²

639

375m<sup>2</sup>

638

**822** 375m²

821

**820** 330m²

819

<sup>330m²</sup> / 818

817

746 420m² 87

464m²

	(ha)
Total Stage Area	4.59
Linear Park	0.23
Neighbourhood Recreation Park	0.00
Open Space Corridor	1.56
Indicative Stormwater Management Area	0.00
Pedestrian Link	0.00
Total Area of Road	0.92
Total Area of Residential Allotments	1.88
	Stage 7
Length of New Road	(m)
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	443
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	157



**KEY PLAN** 

# NOTES

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

## Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

### **Notes applicable to Terrace Home Lots:**

 Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings. **Building Design:** 

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
- verandahs / porches.
- entertaining awnings and shade structures,
- variation to roof and building lines, inclusion of window openings,
- use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
  - windows / doors recessed onto the facade,
  - balconies, porches or verandahs,
  - window hoods,
- minor changes in the building facade (minimum 100mm).

# Parking:

0.21ha

OPEN SPAC

CONRIDÓI 0.12ha

902

947

420m²

**5.15** 

420m<sup>2</sup>

943

**942** 420m²

420m²

1001

420m

1003

1004

1005

420n/3

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
  - habitable rooms fronting the public street and projecting forward 1.0m from the garage, 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth
  - and cast shadow,
  - a front door incorporating glass or a sidelight incorporating glass,
  - incorporation of a large or multiple habitable room windows fronting the public street, a combination of materials and colours including a minimum of 3 different materials and complimentary
  - colours on the front facade (including the garage door but excluding glass).

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table. **Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is
- accessed from the main living area.

# Private open space area to have a minimum width of 3m.

• Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

• No habitable building construction is permitted within the Feldspar Fault Zone.

• All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

NOTE: Boreholes within Stage 7 are to be remediated prior to plan sealing of Stage 6.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ **Delegate's approval for** 

Date: 23 February 2024

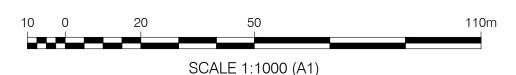
Approval No.: 7231/20/MAPDA/C

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

EXTENT OF STAGED BUSHLAND

**REHABILITATION WORKS - STAGE 6** 

**OPEN SPACE CORRIDOR** 



**911** 1125m²

**912** 977m²

**913** 1368m²

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

# GOLDFIELDS GROUP

HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 7

RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY

**NOTES** 

IPSWICH C.C.

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.

LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are

KEY PLAN / NOTES SUBJECT SITE

STAGING BOUNDARY TOP OF BANK

SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER PEAK URBAN - Q20 20191004\_MP

PEAK URBAN - Q100 20191004\_MP EDGE OF VEGETATION

BAL 12.5 BAL 19 BAL 29

BAL 40 LINEAR PARK

NEIGHBOURHOOD RECREATION PARK OPEN SPACE CORRIDOR

STORMWATER MANAGEMENT AREA 3 0M WIDE LANDSCAPE ZONE IN **ALLOTMEN** 

BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE BUILDING EXCLUSION ZONE - BOREHOLE

LOCATION NO DEVELOPMENT AREA - ECOLOGICAL AREA

MANDATORY BTB WALL OPTIONAL BTB WALL

PREFERRED DRIVEWAY LOCATION PREFERRED PRIVATE OPEN SPACE LOCATION PRIMARY STREET FRONTAGE

MINING CONSTRAINTS

AREA 2A.1 – UNCONSTRAINED AREA 2A.2 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED

BY MORETON GEOTECHNICAL SERVICES PTY LTD) AREA 2A.3 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED

BY MORETON GEOTECHNICAL SERVICES PTY LTD) AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM

Borehole Location Plan May 2019, M1.144\_2019.05.16\_01 Note: Subject Site sourced from 3366 V\_Lot Calcs.dwg. Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev + Rev 6

NOT FOR CONSTRUCTION



**Brisbane Office** 18 Little Cribb Stree Milton Qld 4064 PO Box 1399 Milton Qld 4064

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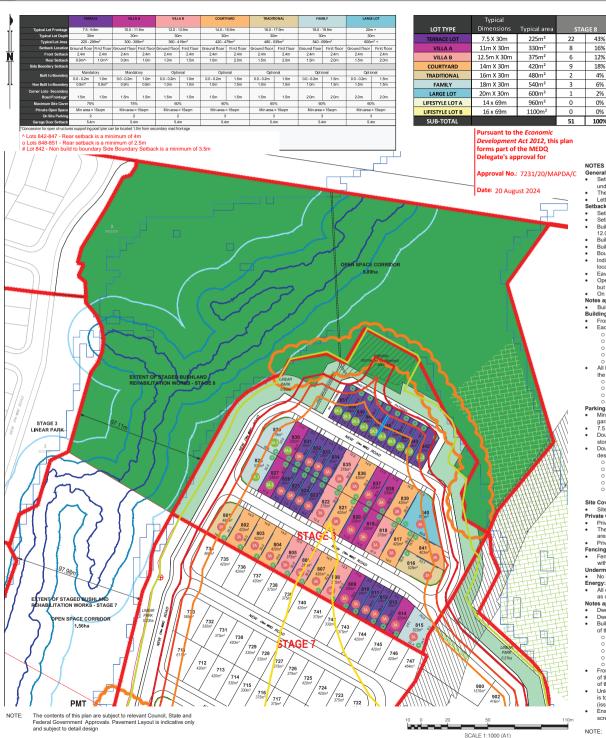
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14/12/2023 14/12/2023

**APPROVED** --/--/----SHEET 3 OF 7 UDN

BRSS8266-000-2-21

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43% 16% 12% 18% 4% 6% 2% 0% 0% 100%

> Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.

Stage 8

9.15

0.55

0.00

5.89

0.13

0.00

0.85

1.73

Stage 8

(m) 0

187

144

347

KFY PI AN

The maximum being of buildings shall not exceed 2 storeys or 9m whichever is lesser

Letter boxes should be located in close relationship to the front entry.

Total Stage Area

Open Space Corridor

Total Area of Road

Length of New Road

Neighbourhood Recreation Park

licative Stormwater Management Area

Total Area of Residential Allotments

Total Length (m) of Road (21.0m) Total Length (m) of Road (16 0m)

Total Length (m) of Road (5.0m) Total Length (m) of Esplanade Road (16.0m standard

with reduced verge to park side = 14.0m

inear Park

Radactrian Link

### Sathacke:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to boundary walls are optional for lots equal to or greater than a 12 0m lot
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres. Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side houndary where standard side setbacks apply
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages
- Notes applicable to Terrace Home Lots:

Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings. Building Design:

- Front doors of dwellings are to address the primary street frontage.

  Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
- verandahs / porches,
- entertaining awnings and shade structures, variation to roof and building lines,

- inclusion of window openings, use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
- windows / doors recessed onto the facade, balconies, porches or verandahs.
- window hoods
- minor changes in the building facade (minimum 100mm).
- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper
- storey or roof projection over at least 50% of the garage opening width.

  Double width garages are permitted on 10 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
- habitable rooms fronting the public street and projecting forward 1.0m from the garage,
  - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow a front door incorporating glass or a sidelight incorporating glass,
  - incorporation of a large or multiple habitable room windows fronting the public street,
  - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).

### Site Cover:

Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table

### Private Onen Space:

- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living
- Private open space area to have a minimum width of 3m. Fencing:

Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

### No habitable building construction is permitted within the Feldspar Fault Zone

 All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

Notes applicable to Terrace Lots 842 to 851:

- Dwellings include provision for a pedestrian access gate to the pedestrian path at the rear
- Dwellings include a door and pedestrian access to the pedestrian path at the rear of these lots

  Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related façade(s):
  - Verandahs: and/or
  - Porches; and/or Awning and shade structures: and/or
  - Variation to roof and building lines; and/or
  - Use of varying building materials.
- Frontage treatments for the northern façade (fronting pedestrian path at rear of these lots) are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area. Front facade - windows/glazing must occupy at least 25%
- Unless an alternate solution is approved by the assessment manager, any fencing between the proposed lots and the pedestrian pathway is to be in accordance with the fencing specified in the Pedestrian Link Plan prepared by Saunders Havill Group and dated August 2021 (issue D as amended in red)
- Ensure garbage bin areas, rainwater tanks, hot water tanks, gas bottles and air conditioners are appropriately screened. The purpose of the screening is to ensure that these services are not visible from the adjoining pedestrian pathway or street frontage

Boreholes within in Stage 8 to be remediated prior to plan sealing of Stage 6.

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENER

### GOI DEIFI DS GROUP

HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 8 RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

IPSWICH C.C.

i) his pair was prepared to the purpose and exclusive SOLDFIELDS GROUP to accompany an application to PSWICH CITY COUNCIL for approval to reconfigure the described in this plan and is not to be used for any other described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii),(iii) or (iv) hereof.

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iv) This plan may not be copied unless these notes are

KEY PLAN / NOTES SUBJECT SITE
STAGING BOUNDAR

TOP OF BANK SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER

PEAK LIRRAN - 020 20191004 MP

PEAK URBAN - Q100 20191004\_MP

EDGE OF VEGETATION

BAL 12.5

BAL 19
BAL 29
BAL 40

LINEAD DADE

NEIGHBOURHOOD RECREATION PARK OPEN SPACE CORRIDOR

> STORMWATER MANAGEMENT AREA 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT

ALLOTMENT
BUILDING RESTRICTION AREA - MINING
CONSTRAINT AREA 4 FELDSPAR FAULT ZONE

BUILDING EXCLUSION ZONE - BOREHOLE LOCATION OCCOO NO DEVELOPMENT AREA - ECOLOGICAL AREA

MANDATORY BTB WALL MINISTER OPTIONAL BTB WALL

☐ PREFERRED DRIVEWAY LOCATION PREFERRED PRIVATE OPEN SPACE LOCATION PRIMARY STREET FRONTAGE

MINING CONSTRAINTS AREA 2A.1 - UNCONSTRAINED

AREA 2A.2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPAIL BY MORETON GEOTECHNICAL SERVICES PTY LITD) 2A.2

2A.3

AREA 3A - MINING CONSTRAINED AREA

Note: Borehole locations as per Taylor Mining Services DNRN Borehole Location Plan May 2019, M1.144\_2019.05.16\_01

NOT FOR CONSTRUCTION





14/12/2023 TKW 14/12/2023

SHEET 4 OF BRSS8266-000-2-21

	TERRA	ACE	VILLA	Α	VILL	A B	COURT	/ARD	TRADIT	IONAL	FAMILY		LARGE LOT	
							LIFESTY	LE A	LIFEST	YLE B				
Typical Lot Frontage	7.5 - 9	.9m	10.0 - 1	1.9m	12.0 - 1	3.9m	14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +	
Typical Lot Depth	30n	n	30m		30r	n	30r	n	30	m	30m		30m	
Typical Lot Area	225 - 29	99m²	300 - 35	59m²	360 - 4	19m²	420 - 4	79m²	480 - 5	39m²	540 - 6	99m²	600n	n² +
Setback Location	Ground floor	First floor	Ground floor	First flo										
Front Setback	2.4m	2.4m	2.4m	2.4m										
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m**	2.0m**	1.5m**	2.0m**	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback							**		*:	*				
Built to Boundary	Manda	itory	Manda	tory	Optio	nal	Optio	nal	Optio	onal	Optio	nal	Optio	nal
Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots- Secondary														
Road Frontage*	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m								
Maximum Site Cover	75%	6	75%	6	60°	%	609	%	60%		60%		60%	
Private Open Space	Min area =	15sqm	Min area	= 15sqm	Min area	= 15sqm	Min area	= 15sqm						
On Site Parking	2		2		2		3		3		3		3	,
Garage Door Setback	5.4r	n	5.4r	n	5.4m		5.4m		5.4m		5.4m		5.4m	

743

745

420m²

747

**900** 1576m²

1010 480m²

1116 / 1115 /

330m² l

1114

STAGE 11

330m²

1117

375m²

NEW (IGM MIDE) ROAD

420m²

420m²

1028

1027

1026

375m<sup>2</sup>

464m²

**732** 330m²

420m²

**646** 492m³

**630** 375m²

627

/ 375m²

617

611

409m²

**645** 375m² /

**631** 420m²

626

618

420m²

610

365m²

606

625

619

609

380m²

420m²

420m²

375m²

644

375m² /

643 420m²

633

624

620

621

493m²

480m² /

509m<sup>2</sup>

420m²

642

**634** 375m²

623

641

330m² / **640** 

**635** /

**622** 508m<sup>2</sup>

636

639

638

731

375m²

**730** / 420m²

706

<sup>′</sup> 729

330m²

**716** 375m<sup>2</sup>

717

703

702

701

726

718

**725** 420m²

**719** 375m²

724

<sup>723</sup>

**722** 416m²

420m²

720

2A.3 915 974m<sup>2</sup>

1122 | 1121 | 1120 | x330m² | 330m² | x350m² | x375m² | x

**916** 976m²

**918** 1012m²

**919** 1113m²

**920** 969m<sup>2</sup>

921

LOT TYPE	Dimensions	Typical area	STA	GE 9	STA	GE 10		(ha)
TERRACE LOT	7.5 X 30m	225m²	4	8%	4	11%	Total Stage Area	5.26
VILLA A	11m X 30m	330m²	1	2%	5	14%	Linear Park	0.21
VILLA B	12.5m X 30m	375m²	3	6%	10	28%	Neighbourhood Recreation Park	0.00
COURTYARD	14m X 30m	420m²	9	19%	10	28%	Open Space Corridor	0.12
TRADITIONAL	16m X 30m	480m²	6	13%	6	17%	Indicative Stormwater Management Area	0.19
FAMILY	18m X 30m	540m²	2	4%	0	0%	Pedestrian Link	0.07
LARGE LOT	20m X 30m	600m²	0	0%	1	3%	Total Area of Road	1.14
LIFESTYLE LOT A	14 x 69m	960m²	15	31%	0	0%	Total Area of Residential Allotments	3.53
LIFESTYLE LOT B	16 x 69m	1100m²	8	17%	0	0%		Stage 9
SUB-TOTAL			48	100%	36	100%	Length of New Road	(m)
							Total Length (m) of Road (21.0m)	170

**FUTURE** 

**RAL** 

**BALANCE** 

LOT 901

24.97ha

1035

1102

NEIGHBOURH OD RECREATION PARK

0.50ha

OPEN SPACE

CORRIDOR

**1034** 420m²

1107

375m²

1109

607m²

110

1<mark>112</mark>

Open Space Corridor	0.12	0.04	
Indicative Stormwater Management Area	0.19	0.00	/
Pedestrian Link	0.07	0.00	
Total Area of Road	1.14	0.62	
Total Area of Residential Allotments	3.53	1.42	
	Stage 9	Stage 10	$\vdash$
Length of New Road	(m)	Stage 10 (m)	/
Length of New Road Total Length (m) of Road (21.0m)	I		1
	(m)	(m)	,
Total Length (m) of Road (21.0m)	(m) 170	(m) 0	•



# **NOTES**

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

## Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

### **Notes applicable to Terrace Home Lots:**

Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
  - verandahs / porches,
- entertaining awnings and shade structures,
- variation to roof and building lines, inclusion of window openings,
- use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
  - windows / doors recessed onto the facade,
  - balconies, porches or verandahs,
  - window hoods,
- minor changes in the building facade (minimum 100mm).

# Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey
- dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width. Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
  - habitable rooms fronting the public street and projecting forward 1.0m from the garage, 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth

  - a front door incorporating glass or a sidelight incorporating glass,
  - incorporation of a large or multiple habitable room windows fronting the public street, a combination of materials and colours including a minimum of 3 different materials and complimentary
  - colours on the front facade (including the garage door but excluding glass).

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table. **Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is
- accessed from the main living area.
- Private open space area to have a minimum width of 3m.

• Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

• No habitable building construction is permitted within the Feldspar Fault Zone.

• All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

Development Act 2012, this plan forms part of the MEDQ **Delegate's approval for** 

Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

Pursuant to the Economic

SCALE 1:1000 (A1) NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY

GOLDFIELDS GROUP

HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 9 & 10 RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY

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--- STAGING BOUNDARY TOP OF BANK

SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER

PEAK URBAN - Q20 20191004\_MP PEAK URBAN - Q100 20191004\_MP EDGE OF VEGETATION

BAL 12.5 BAL 19

BAL 29 BAL 40 LINEAR PARK

NEIGHBOURHOOD RECREATION PARK OPEN SPACE CORRIDOR

STORMWATER MANAGEMENT AREA 3 0M WIDE LANDSCAPE ZONE IN **ALLOTMEN** 

BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE

**BUILDING EXCLUSION ZONE - BOREHOLE** LOCATION

NO DEVELOPMENT AREA - ECOLOGICAL AREA MANDATORY BTB WALL

OPTIONAL BTB WALL PREFERRED DRIVEWAY LOCATION

PREFERRED PRIVATE OPEN SPACE LOCATION PRIMARY STREET FRONTAGE MINING CONSTRAINTS

AREA 2A.1 – UNCONSTRAINED AREA 2A.2 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED

AREA 2A.3 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

BY MORETON GEOTECHNICAL SERVICES PTY LTD)

AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144\_2019.05.16\_01 Note: Subject Site sourced from 3366 V\_Lot Calcs.dwg. Note: BAL Lines as per Bushfire Risk Reducers Report,

007.09.20 -<del>Rev-1</del> Rev 6 NOT FOR CONSTRUCTION



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14/12/2023 14/12/2023

**APPROVED** --/--/---SHEET 5 OF 7 UDN

DRAWN

CHECKED

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	TERRA	CE	VILLA	Α	VILL	VILLA B		COURTYARD		TRADITIONAL		FAMILY		LOT
Typical Lot Frontage	7.5 - 9.	9m	10.0 - 11	10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		า +
Typical Lot Depth	30m	1	30m	30m		n	30r	n	30	m	30m		30m	
Typical Lot Area	225 - 29	9m²	300 - 35	9m²	360 - 4	19m²	420 - 4	79m²	480 - 5	39m²	540 - 6	399m <sup>2</sup>	600r	n² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback														
Built to Boundary	Manda	tory	Mandat	ory	Optional		Optional		Optional		Optional		Optio	onal
Duit to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots- Secondary														
Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m
Maximum Site Cover	75%	)	75%	)	60°	%	60°	%	60	%	60	%	60	%
Private Open Space	Min area =	15sqm	Min area =	15sqm	Min area =	= 15sqm	Min area =	= 15sqm	Min area	= 15sqm	Min area	= 15sqm	Min area	= 15sqm
On Site Parking	2		2		2		3		3		3		3	
Garage Door Setback	5.4n	n	5.4n	1	5.4	m	5.4m		5.4m		5.4m		5.4m	
*Concession for open structures s	supporting post/pi	ier can be loc	ated 1.0m from s	econdary roa	d frontage				•		•		•	

934

1016

STAGE 10

/ 1021 / 1022 / 1023 /

NEW (16m WIDE) ROAD STAGE 11

1277

1276

577m²

1020

**1225** 420m²

1226

**1228** 422m²

**1229** 427m²

932

**922** 960m²

**926** 488m²

**927** 447m²

**1223** 422m²

1222

**1221** 514m²

1220

**1219** 381m²

**1218** 382*m*<sup>2</sup>

1217

1216

1214

523m²

381m²

374m²

1033

**NEIGHBOURH** OD

RECREATION PARK

0.50ha

PEN SPACE

CORRIDOR

0.66ha

LINEAR

PARK

0.15ha

1273 |1272 |1271 |1270 |1269 | |1269 |

1233 | 1234 | 12351236 | 1237 | 1238 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239 | 1239

| 255m²<sub>|330m²</sub> | **1268** 

1267

420m²

1240

420m²

1241

1213

617m²

1212

493m²

1211

| 375m²

1266 4265

1242

1243

1244

**STAGE 12** 

1210

493m²

1209

493m²

**1208** 441m²

**1207** 441m²

1264 | 1263 | 1262

1245

1261

1247

**1206** 493m²

462m²

462m²

1260 | 1259

1248

NEW

1205

1030

420m²

1028

**1027** 375*m*<sup>2</sup>

1024 🚪 3A 💃 110

330m² **1280** /

1279

1278

1275

420m²

**1232** 420m²

**FUTURE** 

**BALANCE** 

LOT 901

25.92ha

**1274** 420m²

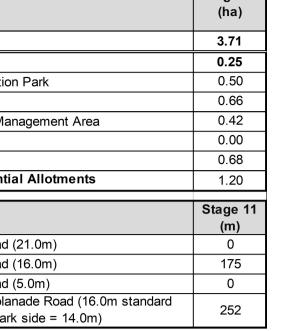
1026

LOT TYPE	Typical Dimensions	Typical area	STAC	SE 11
TERRACE LOT	7.5 X 30m	225m²	0	0%
VILLA A	11m X 30m	330m²	9	30%
VILLA B	12.5m X 30m	375m²	7	23%
COURTYARD	14m X 30m	420m²	8	27%
TRADITIONAL	16m X 30m	480m²	4	13%
FAMILY	18m X 30m	540m²	1	3%
LARGE LOT	20m X 30m	600m²	1	3%
LIFESTYLE LOT A	14 x 69m	960m²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m²	0	0%
SUB-TOTAL			30	100%

**OPEN SPACE CORRIDOR** 

6.12ha

TYPE	Dimensions	Typical area	STAC	GE 11			(ha)
CE LOT	7.5 X 30m	225m²	0	0%		Total Stage Area	3.71
LA A	11m X 30m	330m²	9	30%		Linear Park	0.25
			7		1	Neighbourhood Recreation Park	0.50
LA B	12.5m X 30m	375m²	/	23%		Open Space Corridor	0.66
TYARD	14m X 30m	420m²	8	27%		Indicative Stormwater Management Area	0.42
TIONAL	16m X 30m	480m²	4	13%		Pedestrian Link	0.00
					1	Total Area of Road	0.68
MILY	18m X 30m	540m²	1	3%	li	Total Area of Residential Allotments	1.20
E LOT	20m X 30m	600m²	1	3%			Stage
LE LOT A	14 x 69m	960m²	0	0%		Length of New Road	(m)
LE LOT B	16 x 69m	1100m²	0	0%	1	Total Length (m) of Road (21.0m)	0
	10 X 05111	1100111			<b>!</b> [	Total Length (m) of Road (16.0m)	175
ΓΟΤΑL			30	100%		Total Length (m) of Road (5.0m)	0
						Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	252





**KEY PLAN** 

### NOTES General:

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

## Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

### **Notes applicable to Terrace Home Lots:**

 Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings. **Building Design:** 

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
  - verandahs / porches.
  - entertaining awnings and shade structures,
  - variation to roof and building lines,
  - inclusion of window openings,
- use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
  - windows / doors recessed onto the facade
  - balconies, porches or verandahs,
  - window hoods,
- minor changes in the building facade (minimum 100mm).

# Parking:

**FUTURE** 

**RAL** 

**BALANCE** 

LOT 901

24.97ha

NEW (16m WIDE) ROAD

1256 | <sub>1255</sub> |

1**252** 375m²

1258 <sub>1257</sub>

| 330m² | 330m² |

Jm<sup>2</sup> 1249 1250 1251 330m<sup>2</sup> 175m<sup>2</sup>

55m WIDE) ROAD

1204

1203

441m²

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
- habitable rooms fronting the public street and projecting forward 1.0m from the garage, 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth
- and cast shadow,
- a front door incorporating glass or a sidelight incorporating glass,
- incorporation of a large or multiple habitable room windows fronting the public street, a combination of materials and colours including a minimum of 3 different materials and complimentary
- colours on the front facade (including the garage door but excluding glass).

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table. Private Open Space:
- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
- Private open space area to have a minimum width of 3m.

• Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

No habitable building construction is permitted within the Feldspar Fault Zone.

• All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

Development Act 2012, this plan forms part of the MEDQ elegate's approval for

Pursuant to the Economic

Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

110m SCALE 1:1000 (A1)

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY

# GOLDFIELDS GROUP

# HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 11 RECONFIGURATION OF A LOT (ROL)

AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY

IPSWICH C.C.

### **NOTES**

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.

LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are

KEY PLAN / NOTES SUBJECT SITE --- STAGING BOUNDARY

TOP OF BANK SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER

PEAK URBAN - Q20 20191004\_MP PEAK URBAN - Q100 20191004\_MP

EDGE OF VEGETATION BAL 12.5

BAL 19 BAL 29 BAL 40

LINEAR PARK NEIGHBOURHOOD RECREATION PARK

OPEN SPACE CORRIDOR STORMWATER MANAGEMENT AREA

3 0M WIDE LANDSCAPE ZONE IN **ALLOTMENT** BUILDING RESTRICTION AREA - MINING

CONSTRAINT AREA 4 FELDSPAR FAULT ZONE BUILDING EXCLUSION ZONE - BOREHOLE

LOCATION NO DEVELOPMENT AREA - ECOLOGICAL AREA

MANDATORY BTB WALL OPTIONAL BTB WALL

PREFERRED DRIVEWAY LOCATION PREFERRED PRIVATE OPEN SPACE LOCATION

PRIMARY STREET FRONTAGE MINING CONSTRAINTS

AREA 2A.1 – UNCONSTRAINED AREA 2A.2 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

> AREA 2A.3 – MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144\_2019.05.16\_01 Note: Subject Site sourced from 3366 V Lot Calcs.dwg. Note: BAL Lines as per Bushfire Risk Reducers Report,

007.09.20 - Rev 1 Rev 6 NOT FOR CONSTRUCTION



**Brisbane Office** 18 Little Cribb Stree p: (07) 3842 1000 Milton Qld 4064

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DRAWN 14/12/2023 CHECKED 14/12/2023 **APPROVED** --/--/---

UDN BRSS8266-000-2-21

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SHEET 6 OF 7

	TERRA	CE	VILLA	. <b>A</b>	VILL	A B	COURT	YARD	TRADIT	IONAL	FAN	IILY	LARG	E LOT
Typical Lot Frontage	7.5 - 9.	9m	10.0 - 1	1.9m	12.0 - 1	3.9m	14.0 - 1	5.9m	16.0 -	17.9m	18.0 - 1	19.9m	20r	n +
Typical Lot Depth	30m	1	30m	1	30r	n	30r	m	30	m	30	m	30	m
Typical Lot Area	225 - 29	99m²	300 - 35	i9m²	360 - 4	19m²	420 - 4	79m²	480 - 5	i39m²	540 - 6	399m <sup>2</sup>	600r	m² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback														
Built to Boundary	Mandatory		Mandatory Optional		nal	Optional		Optional		Optional		Optional		
Built to Bourdary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots- Secondary														
Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m
Maximum Site Cover	75%	,	75%	, )	60°	%	609	%	60	%	60	%	60	1%
Private Open Space	Min area =	15sqm	Min area =	15sqm	Min area =	= 15sqm	Min area =	= 15sqm	Min area	= 15sqm	Min area	= 15sqm	Min area	= 15sqm
On Site Parking	2		2		2		3		3		3	}	3	3
Garage Door Setback 5.4m		n	5.4n	ı	5.4	m	5.4	m	5.4	m	5.4	m	5.4	4m
*Concession for open structures su	upporting post/p	ier can be loc	ated 1.0m from s	econdary roa	d frontage						•		•	

	Typical			
LOT TYPE	Dimensions	Typical area	STAC	GE 12
TERRACE LOT	7.5 X 30m	225m²	8	10%
VILLA A	11m X 30m	330m²	11	14%
VILLA B	12.5m X 30m	375m²	32	40%
COURTYARD	14m X 30m	420m²	16	20%
TRADITIONAL	16m X 30m	480m²	7	9%
FAMILY	18m X 30m	540m²	3	4%
LARGE LOT	20m X 30m	600m²	3	4%
LIFESTYLE LOT A	14 x 69m	960m²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m²	0	0%
SUB-TOTAL			80	100%

330m²   1114		Stage 12 (ha)
420m²   ¥	Total Stage Area	5.84
11 3 472 n <sup>2</sup>	Linear Park	0.00
	Neighbourhood Recreation Park	0.00
NEW (16m MIDE) ROAD STAGE 11	Open Space Corridor	0.00
STAGE II TO THE STAGE TO THE ST	Indicative Stormwater Management Area	0.00
12723	Pedestrian Link	0.03
30.1 420m²   1126   4437   CORRIDOR Stormw for management	Total Area of Road	2.55
1222 497m²  1221  1230m²  1247  130m²  1257  130m²  1267  130m²  127  130m²  128  420m²  128  420m²  129  472m²  0.66ha  0.66ha	Total Area of Residential Allotments	3.26
(2A.1) 30.1	Length of New Road	Stage 12 (m)
1221 420m <sup>2</sup>	Total Length (m) of Road (21.0m)	474
○ 513m²	Total Length (m) of Road (16.0m)	409
2A 2 2A 2 1280 3	Total Length (m) of Road (5.0m)	0
ped (10 <sup>11</sup> ) 1225 (A.2) (2) (2) (2) (2) (3) (3) (3) (4) (2) (4) (4) (4) (4) (4) (4) (4) (4) (4) (4	Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	30
2A.1 30.5  1219  1277  1381m² 2A.1 30.6  1218  2A.2 367m² 2A.2 367	FUTURE RAL	

**1244**  $\approx$ **FUTURE** 

1212 % 1211 % 1210 % 493m² % 493m² % 493m² %

1209ജ

493m²

1208 g 1207 g

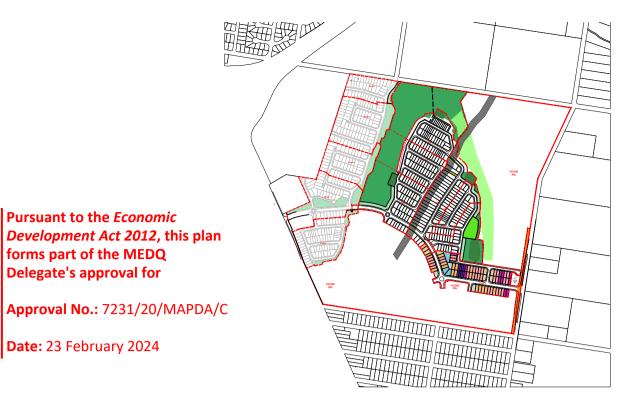
6 617m² °

**BALANCE** LOT 901 25.92ha

RAL

**INSET** PROPOSED BIN SET DOWN AREA FOR LOTS 1275, 1276 & 1277  $(1.2m \times 0.6m)$  $0.6m^{-1}$ MONTEREA ROAD The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

**KEY PLAN** 



## NOTES

BALANCE

24.97ha

**PART OF BALANCE** 

0.207ha

**LOT 901** 

NEW (16m MDE) ROAD

1260 1259

1206 g 1205g 1204 g 1203g

Pursuant to the Economic

forms part of the MEDQ

Delegate's approval for

Date: 23 February 2024

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser. • Letter boxes should be located in close relationship to the front entry.
- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

## **Notes applicable to Terrace Home Lots:**

• Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 Low Rise Buildings.

## **Building Design:**

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
  - verandans / porcnes,
- entertaining awnings and shade structures,
- variation to roof and building lines,
- inclusion of window openings,
- use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
  - windows / doors recessed onto the facade,
  - balconies, porches or verandahs.
  - window hoods,
- minor changes in the building facade (minimum 100mm). Parking:
- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
- Double width garages are not permitted on 7.5 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 12.4m wide allotments within a single storey dwelling provided that they include the following design elements: habitable rooms fronting the public street and projecting forward 1.0m from the
- garage, 1.0m eave overhang for double garage or alternatively an arbour or architectural
- add depth and cast shadow, awning to
- a front door incorporating glass or a sidelight incorporating glass, incorporation of a large or multiple habitable room windows fronting the public street
- a combination of materials and colours including a minimum of 3 different materials complimentary colours on the front facade (including the garage door but and

### excluding glass). Site Cover:

Site cover for each dwelling is specific to the allotment type and shown in the Site Setback

# **Private Open Space:**

- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
- Private open space area to have a minimum width of 3m.

# **Primary Frontage:**

- Primary frontage is the frontage with the preferred driveway access location nominated.
- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary. **Undermining:**
- No habitable building construction is permitted within the Feldspar Fault Zone.
- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).
- NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY

GOLDFIELDS GROUP

# HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 12

RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY

**NOTES** 

## IPSWICH C.C.

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other

purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii),(iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.



STAGING BOUNDARY

TOP OF BANK

SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER

PEAK URBAN - Q20 20191004\_MP PEAK URBAN - Q100 20191004\_MP

EDGE OF VEGETATION

BAL 12.5 BAL 19

BAL 29

BAL 40 LINEAR PARK

NEIGHBOURHOOD RECREATION PARK

OPEN SPACE CORRIDOR STORMWATER MANAGEMENT AREA

3 0M WIDE LANDSCAPE ZONE IN ALLOTMENT

BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE BUILDING EXCLUSION ZONE - BOREHOLE

NO DEVELOPMENT AREA - ECOLOGICAL AREA

OPTIONAL BTB WALL PREFERRED DRIVEWAY LOCATION

PREFERRED PRIVATE OPEN SPACE LOCATION PRIMARY STREET FRONTAGE MINING CONSTRAINTS

# AREA 2A.1 – UNCONSTRAINED

MANDATORY BTB WALL

AREA 2A.2 – MINING CONSTRAINED AREA

(REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD) AREA 2A.3 – MINING CONSTRAINED AREA

(REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD) AREA 3A - MINING CONSTRAINED AREA

(REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144\_2019.05.16\_01 Note: Subject Site sourced from 3366 V\_Lot Calcs.dwg. Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1 Rev 6

NOT FOR CONSTRUCTION



Brisbane Office 18 Little Cribb Stree Milton Qld 4064

PO Box 1399

Milton Qld 4064

APPROVED

p: (07) 3842 1000 f: (07) 3842 1001 e: info@landpartners.com.au w: www.landpartners.com.au

DRAWN 14/12/2023 CHECKED 14/12/2023

BRSS8266-000-2-21

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SHEET 7 OF 7

### PATHWAY (ROAD RESERVE) NOTE: RELAXATION REQUIRED FOR SIDE SETBACK BEING BUILT TO BOUNDARY IN LIEU OF THE 900MM REQUIRED 7.5 119°11'25" 8.0 8.0 6.366 119°11'25" 119°11'25" 119°11'25" 119°11'25' 119°11'25' 119°11'25' 119°11'25" 119°11'25' 119°11'25" 1269 1269 1269 NOTE: RELAXATION REQUIRED FOR SIDE SETBACK ENCROACHING 500MM INTO MINIMUM 4M SETBACK REQUIRED PATHWAY (ROAD RESERVE) PATHWAY (ROAD RESERVE) STEP STEP STEP STEP STEP STEP STEP STEP STEP 3500 851 850 849 848 847 846 845 844 843 842 225m<sup>2</sup> 236m<sup>2</sup> 225m<sup>2</sup> 225m<sup>2</sup> 225m<sup>2</sup> 240m<sup>2</sup> 240m<sup>2</sup> 323m<sup>2</sup> 225m<sup>2</sup> 225m<sup>2</sup> CUT 40.20 FFL 40.585 CUT 40.35 FFL 40.735 CUT 40.65 FFL 41.035 CUT 39.8 FFL 40.185 CUT 40.10 FFL 40.485 CUT 40.50 FFL 40.885 CUT 40.80 FFL 41.185 CUT 40.90 FFL 41.285 CUT 41.05 FFL 41.435 CUT 40.00 FFL 40.385 TERRACE 4BED TERRACE 4BED TERRACE 4BED TERRACE 4BED TERRACE 4BED TERRACE 4BED 8M WIDE PRODUCT 8M WIDE PRODUCT TERRACE 4BED TERRACE 4BED TERRACE 4BED TERRACE 4BED GARAGE NOTE: RELAXATION REQUIRED FOR SIDE SETBACK ENCROACHING 400MM INTO **NEW ROAD** MINIMUM 0.9M SETBACK REQUIRED SITE PLAN SITING NOTES Pursuant to the Economi \*LOT 842 REQUIRES A RELAXATION FOR REDUCED SETBACK OF 3.5M IN LIEU ment Act 2012, this plan TERMITES NORTH forms part of the MEDQ OF 4M, SITING SUBJECT TO APPROVAL FROM COUNCIL \*LOT 851 REQUIRES A RELAXATION FOR REDUCED SIDE SETBACK Delegate's approval for FIRE ANTS ENCROACHING 400mm INTO MINIMUM 0.9M SETBACK REQUIRED Approval No.: 7231/20/MAPDA/C BUSHFIRE \*LOT 846&847 REQUIRES A RELAXATION FOR REDUCED SIDE SETBACK Approved plan relates to Lots 842 to 851 only ENCROACHING 900mm INTO MINIMUM 0.9M SETBACK REQUIRED FLOODING Date: 20 August 2024 WALL ON BOUNDARY MIN. HEIGHT IS 3.5m AS PER POD - WILL NEED TO CORROSIVE MODIFY ROOF DESIGN TO ACCOMMODATE LOWER PARAPET HEIGHTS \*PROVIDE PEDESTRIAN GATE ACCESS AT REAR OF EACH LOT Buyer note: The dimensions shown on the siting plan are subject to change pending completion of a contour survey of the complete lot and finalisation of the Builders working drawings TOWN PLANNING CONTRACT DRAWINGS PROPOSED RESIDENCE AMM TYPE DATE SIGN DRAWN: DATE: CHECK: **FOR:ORBIT HOMES** DATE: XXX SCALE: 1:250 SHEET No: 1 OF 1 ORBIT HOMES QUEENSLAND PTY. LTD. 3916 PACIFIC HIGHWAY LOGANHOLME DC QLD 4129 ORBIT HOMES DATE AT: LOTS 842-851 HAYFEILD **TERRACE** ESTATE, RIPLEY TEL: 3801 7100 FAX: 3801 7111 DATE CLIENT ELEVATION www.orbithomes.com.au UBD REF:XXXX PERMIT N°: XXXX CLIENT DATE JOB N°: -\* NOTE DO NOT SCALE THESE DRAWINGS URBANE QUALITY RANGE INCLUSIONS (VERSION O COPYRIGHT ORBIT HOMES QUEENSLAND Pty.Ltd. ©

NOTE: ALL PAVING TO BE 200mm OFF BOUNDARY UNLESS OTHERWISE NOTED. PAVING ADJACENT TO HOUSE TO BE SET DOWN 170mm FROM FFL UNLESS OTHERWISE NOTED.

PROPOSED DRIVEWAY GRADIENT IS 1

DENOTES METER BOX (& GAS METER WHEN IN SAME LOCATION).

DENOTES GAS METER WHEN IN SEPARATE LOCATION.

NOTE: STORMWATER SHOWN INDICATIVE ONLY & IS SUBJECT TO CHANGE ON SITE.

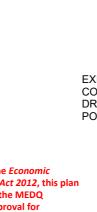
NOTE: ANY RETAINING WALLS SHOWN ON OR NEAR THE BOUNDARIES ARE TO BE CONSTRUCTUTED COMPLETELY WITHIN THE SUBJECT PORPERTY INCLUDING ALL ASSOCIATED FOOTINGS AND AG DRAINS

NOTE: ALL WORK SHOWN TO BE CARRIES OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2022"

NOTE: PRE PROVISIONING FOR FIBRE TO THE PREMISES REQUIRED, REFER TO THE ELECTRICAL PLAN FOR FUTHER INFORMATION.

NOTE: PRELIMINARY SITING ONLY. FINAL SITING SUBJECT TO ALL RELEVANT GUIDELINES APPROVAL AND FINAL SITE LEVELS.

### SITE SURVEY LEGEND O/H POWER TBA $\bigcirc$ U/G POWER TBA WATER TBA TELECOM TBA TBA -GAS-GAS-GAS SEWER TBA TBA ROOFWATER —RW—RW—RW STORMWATER TBA -SW-SW-SW O/H LIGHT ✡ S/WATER PIT FIRE HYDRANT WATER VALE MOUNTABLE KERB NON-MOUNT. KERB



Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ

Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024

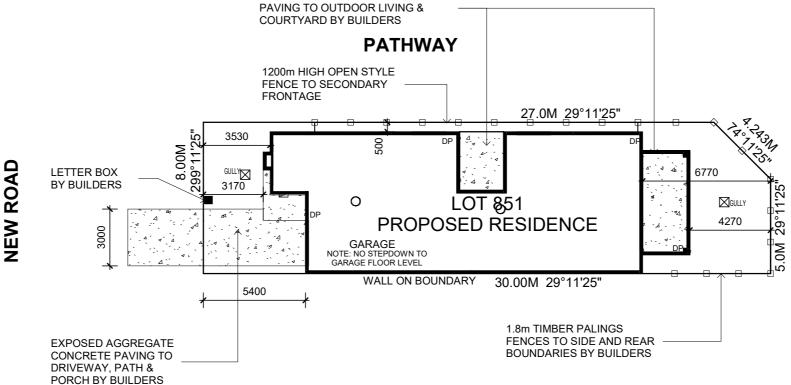
### SITE INFORMATION

BUILDING PAD CUT/SCRAPE LEVEL: RL XX APPROX. HOUSE FFL: RL XX
GARAGE FFL: RL XX

WHEN RETAINING WALLS ARE INDICATED ON THE PLANS AN AG DRAIN MUST BE PLACED TO THE REAR OF THE WALL AND SILT PITS TO BE PROVIDED TI EITHER END OF WALL FOR CONNECTION TO LPOD.

### SOIL REPORT INFORMATION

	HOLE 1	HOLE 2	HOLE 3
FILL DETECTED:	TBA	TBA	TBA
DEPTH:	TBA	TBA	TBA
COMPACTION REPORTED RE	ECEIVED:	:TBA	
ROCK:	TBA	TBA	TBA
DEPTH OF ROCK:	TBA	TBA	TBA
REFUSAL:	TBA	TBA	TBA



JOB N°: 001

EXPOSED AGGREGATE CONCRETE

Approved plan relates to Lot 851 only

LOT AREAS:-		
SITE: BUILDING COVERAGE: GARDEN AREA: PERMEABILITY:	236.00m <sup>2</sup> 158.03m <sup>2</sup> 46.03m <sup>2</sup> 46.03m <sup>2</sup>	70.24% 20.46% 20.46%
PAVING:-		
DRIVEWAY & PATH: PORCH: OUTDOOR LIVING: COURTYARD: CROSSOVER:	16.70m <sup>2</sup> 3.46m <sup>2</sup> 11.98m <sup>2</sup> 3.90m <sup>2</sup> 12.00m <sup>2</sup>	

48.04m<sup>2</sup>

, , , , ,	EXPOSED AGG. CONCRETE
	CUT BATTER
	FILL BATTER
	SLEEPER RET. WALL
<b>W</b>	WATER MARKER & RUN IN
©	GAS MARKER & RUN IN
GULLY	YARD GULLY
<b></b>	DIRECTION OF LAND FALL
>	SPOON DRAIN WITH DIRECTIONAL ARROWS
	STORMWATER PIPE
c:::=	GRATE DRAIN

AMM	TYPE	DATE	SIGN	UPDATE AS RE	QUIRED
				ORBIT HOMES	DATE
				CLIENT	DATE
					- <u></u>
* NO	TE DO NO	CLIENT	DATE		

PROPOSED RESIDENCE FOR: ORBIT HOMES

AT: LOT 851 NEW ROAD, HAYFIELD ESTATE, RIPLEY

UBD REF: .
PERMIT N°: .

BSA Lic. N°716019
ORBIT HOMES QUEENSLAND PTY. LTD.
3916 PACIFIC HIGHWAY
LOGANHOLME DC QLD 4129
TEL: (07) 3801 7100
www.orbithomes.com.au

SI	TE	PLAN
ERMITES	YES	NORTH
JSHFIRE	LOW	
LOODING	xxx	
ORROSIVE	xxx	
OWN PLANNING	XXX	<b>Y</b>

PATHWAY

TOTAL:

			8
DRAWN: AMA	DATE:	26.07.2024	
CHECK: XXX	DATE:	XXX	
SCALE: 1:200	SHEET	No: 1 /20	
DESIGN TERRA	CE 16	B4	

BURLEIGH
SPECIFICATION

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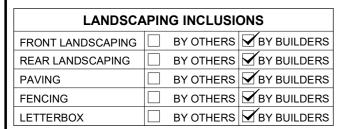
DRAWINGS - ISSUE 003. - 28.03.2022 - NHUT

NOTE: LANDSCAPING IS SHOWN INDICATIVE AND IS SUBJECT TO CHANGE PENDING ANY SITE CONSTRAINTS

NOTE: LANDSCAPING TO BE PROVIDED BY BUILDERS IN FULL ACCORDANCE WITH THE DESIGN GUIDELINES



**POLY-TEK KEY** LARGO LETTERBOX



L	EGEND	DESCRIPTION	TOTAL AREA m²
. 4	Δ'	EXPOSED AGG. CONCRETE	48.04m²
		PLANTED GARDEN BED	7.74m²
* *	* * * * * *	SYNTHETIC TURF	37.35m²
		PEBBLES	0.39m²
		400X400 PAVERS	9 (QTY)

EXPOSED AGGREGATE CONCRETE PAVING TO OUTDOOR LIVING & COURTYARD BY BUILDERS **PATHWAY** 1200m HIGH OPEN STYLE FENCE TO SECONDARY FRONTAGE **NEW ROAD** ĞULLY**X** LETTER BOX BY BUILDERS LOT 851 PROPOSED RESIDENCE NOTE: NO STEPDOWN TO GARAGE FLOOR LEVEL 1.8m TIMBER PALINGS FENCES TO SIDE AND REAR EXPOSED AGGREGATE CONCRETE PAVING TO **BOUNDARIES BY BUILDERS** DRIVEWAY, PATH & PORCH BY BUILDERS

Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

**Date**: 20 August 2024

AMM	ТҮРЕ	DATE	SIGN	UPDATE AS RE	QUIRED
				ORBIT HOMES	DATE
				CLIENT	DATE
* NO	TE DO NOT SCALE THE	CLIENT	DATE		

PROPOSED RESIDENCE FOR: ORBIT HOMES

AT: LOT 851 NEW ROAD, HAYFIELD ESTATE, RIPLEY UBD REF: .

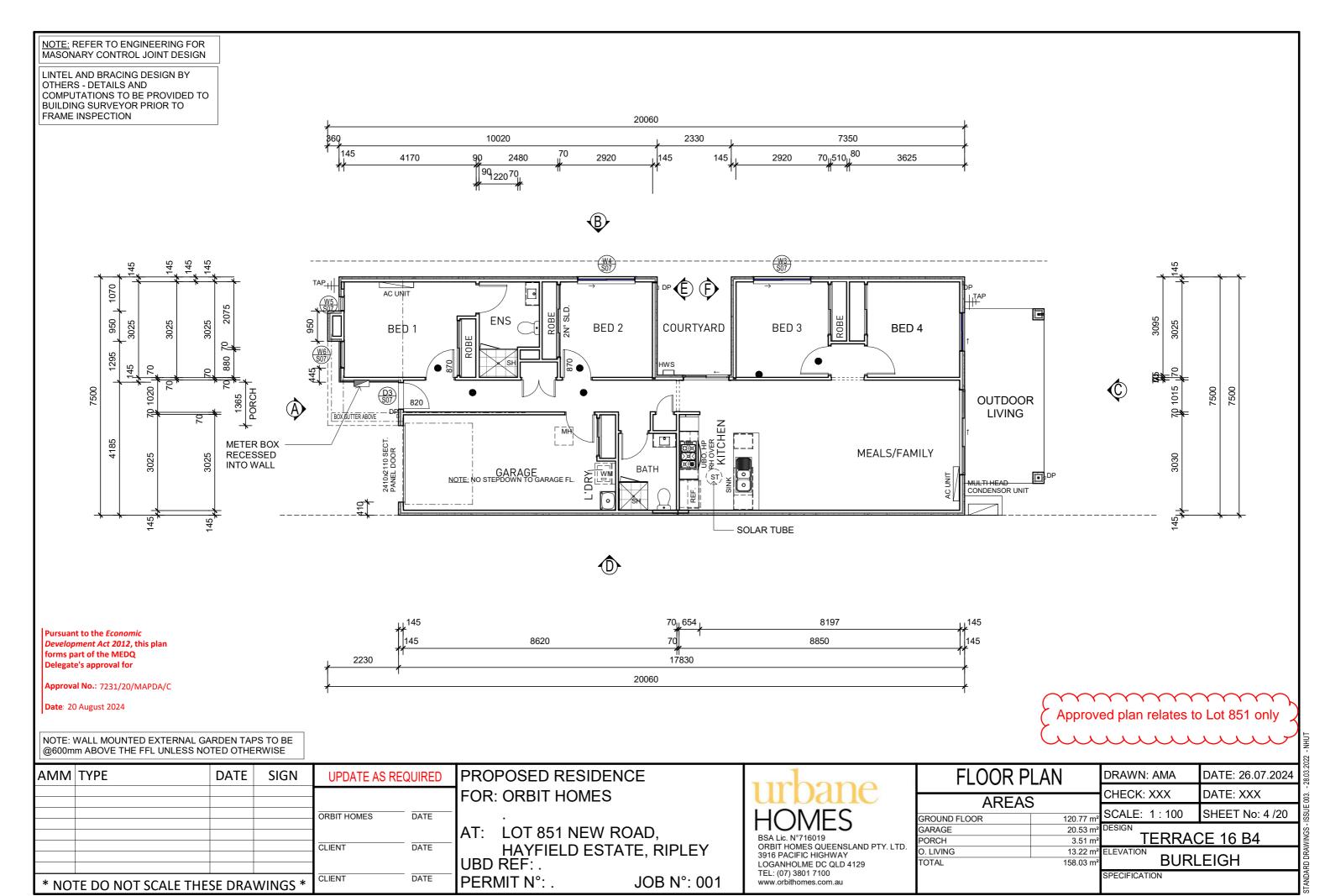
PERMIT N°: . JOB N°: 001

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LTD. LOGANHOLME DC QLD 4129 TEL: (07) 3801 7100 www.orbithomes.com.au

LANDSCAPE PLAN	DRAWN: AMA	DATE: 26.07.2024
	CHECK: XXX	DATE: XXX
	SCALE: 1:200	SHEET No: 2/20
	TERRACE 16 B4  BURLEIGH	
SPECIFICATION		

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