

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered however arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

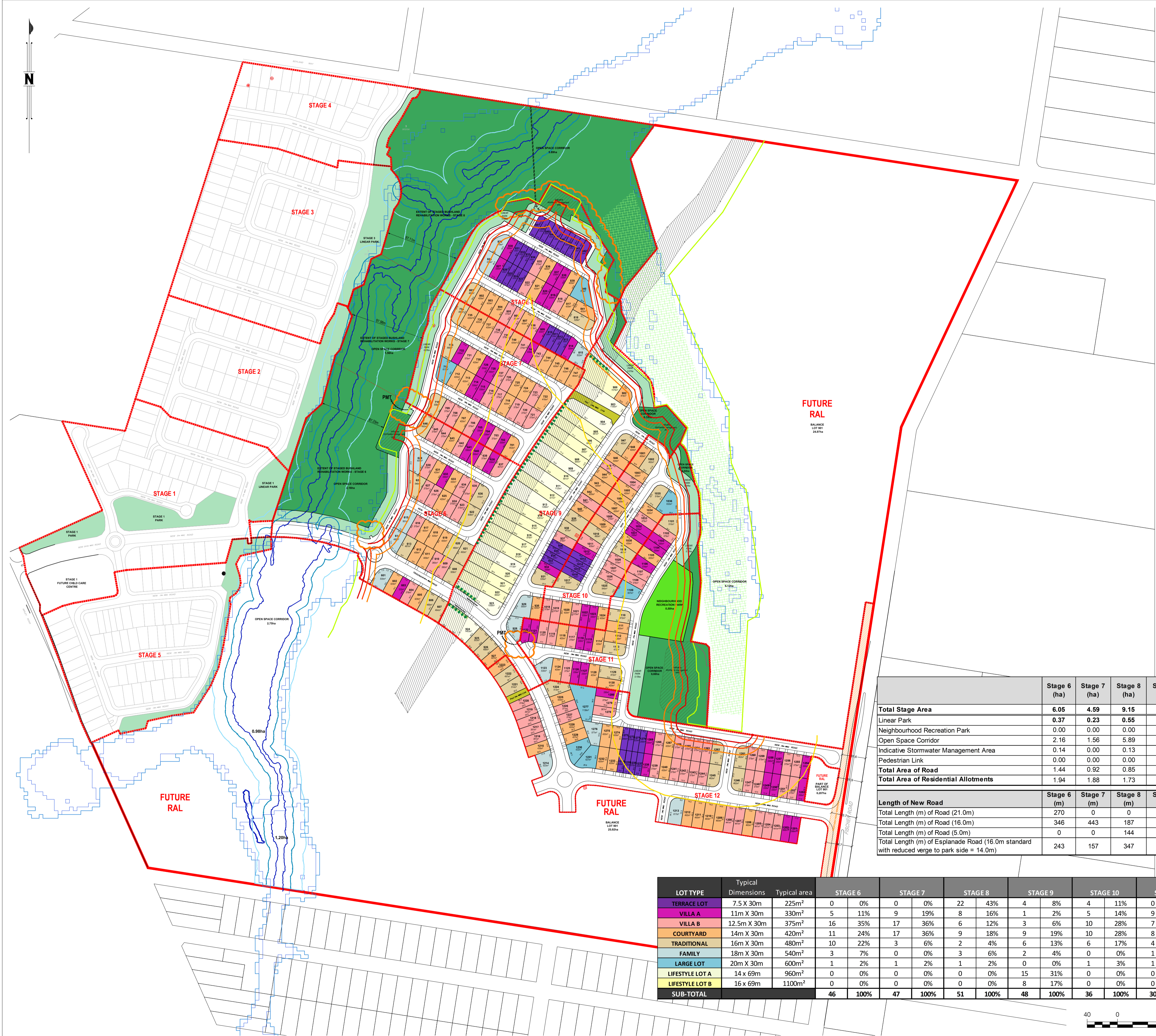
(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q20 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- PREFERRED DRIVEWAY LOCATION
- No pedestrian or vehicular access permitted. Developer constructed fencing and landscaping to remain in perpetuity.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for
Approval No.: 7231/20/MAPDA/C
Date: 23 February 2024



	Stage 6 (ha)	Stage 7 (ha)	Stage 8 (ha)	Stage 9 (ha)	Stage 10 (ha)	Stage 11 (ha)	Stage 12 (ha)	Sub Total RAL 2 (stages 6 - 12)
Total Stage Area	6.05	4.59	9.15	5.19	2.22	3.71	5.84	36.75
Linear Park	0.37	0.23	0.55	0.17	0.14	0.25	0.00	1.71
Neighbourhood Recreation Park	0.00	0.00	0.00	0.00	0.00	0.50	0.00	0.50
Open Space Corridor	2.16	1.56	5.89	0.08	0.04	0.66	0.00	10.38
Indicative Stormwater Management Area	0.14	0.00	0.13	0.19	0.00	0.42	0.00	0.88
Pedestrian Link	0.00	0.00	0.00	0.07	0.00	0.00	0.03	0.10
Total Area of Road	1.44	0.92	0.85	1.16	0.62	0.68	2.55	8.23
Total Area of Residential Allotments	1.94	1.88	1.73	3.52	1.42	1.20	3.26	14.95

	Stage 6 (m)	Stage 7 (m)	Stage 8 (m)	Stage 9 (m)	Stage 10 (m)	Stage 11 (m)	Stage 12 (m)	Sub Total RAL 2 (stages 6 - 12)
Length of New Road								
Total Length (m) of Road (21.0m)	270	0	0	170	0	0	474	914
Total Length (m) of Road (16.0m)	346	443	187	350	283	175	409	2193
Total Length (m) of Road (5.0m)	0	0	144	0	0	0	0	144
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	243	157	347	163	125	252	30	1317

LOT TYPE	Typical Dimensions	Typical area	STAGE 6	STAGE 7	STAGE 8	STAGE 9	STAGE 10	STAGE 11	STAGE 12	ROL 2 SUB-TOTAL								
TERRACE LOT	7.5 X 30m	225m ²	0	0%	0	0%	22	43%	4	8%	4	11%	0	0%	8	10%	38	11%
VILLA A	11m X 30m	330m ²	5	11%	9	19%	8	16%	1	2%	5	14%	9	30%	11	14%	48	14%
VILLA B	12.5m X 30m	375m ²	16	35%	17	36%	6	12%	3	6%	10	28%	7	23%	32	40%	91	27%
COURTYARD	14m X 30m	420m ²	11	24%	17	36%	9	18%	9	19%	10	28%	8	27%	16	20%	80	24%
TRADITIONAL	16m X 30m	480m ²	10	22%	3	6%	2	4%	6	13%	6	17%	4	13%	7	9%	38	11%
FAMILY	18m X 30m	540m ²	3	7%	0	0%	3	6%	2	4%	0	0%	1	3%	3	4%	12	4%
LARGE LOT	20m X 30m	600m ²	1	2%	1	2%	1	2%	0	0%	1	3%	1	3%	3	4%	8	2%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%	0	0%	0	0%	15	31%	0	0%	0	0%	0	0%	15	4%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%	0	0%	0	0%	8	17%	0	0%	0	0%	0	0%	8	2%
SUB-TOTAL			46	100%	47	100%	51	100%	48	100%	36	100%	30	100%	80	100%	338	100%



NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals.

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

NOT FOR CONSTRUCTION



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064
p: (07) 3842 1000
f: (07) 3842 1001
e: info@landpartners.com.au
www.landpartners.com.au



DRAWN	TKW	DATE	14/12/2023
CHECKED	TKW	DATE	14/12/2023
APPROVED	-	DATE	-/-/-

UDN: BRSS8266-000-2-21
SHEET 1 OF 7

	TERRACE		VILLA A		VILLA B		COURTYARD		TRADITIONAL		FAMILY		LARGE LOT	
Typical Lot Frontage	7.5 - 9.9m		10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +	
Typical Lot Depth	30m		30m		30m		30m		30m		30m		30m	
Typical Lot Area	225 - 299m ²		300 - 359m ²		360 - 419m ²		420 - 479m ²		480 - 539m ²		540 - 699m ²		600m ² +	
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback	Mandatory		Mandatory		Optional		Optional		Optional		Optional		Optional	
Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots - Secondary Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m
Maximum Site Cover	75%		75%		60%		60%		60%		60%		60%	
Private Open Space	Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm	
On Site Parking	2		2		2		3		3		3		3	
Garage Door Setback	5.4m		5.4m		5.4m		5.4m		5.4m		5.4m		5.4m	

*Concession for open structures supporting post/pier can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 6	
TERRACE LOT	7.5 X 30m	225m ²	0	0%
VILLA A	11m X 30m	330m ²	5	11%
VILLA B	12.5m X 30m	375m ²	16	35%
COURTYARD	14m X 30m	420m ²	11	24%
TRADITIONAL	16m X 30m	480m ²	10	22%
FAMILY	18m X 30m	540m ²	3	7%
LARGE LOT	20m X 30m	600m ²	1	2%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			46	100%

	Stage 6 (ha)
Total Stage Area	6.10
Linear Park	0.37
Neighbourhood Recreation Park	0.00
Open Space Corridor	2.16
Indicative Stormwater Management Area	0.13
Pedestrian Link	0.00
Total Area of Road	1.51
Total Area of Residential Allotments	1.93
Length of New Road	Stage 6 (m)
Total Length (m) of Road (21.0m)	270
Total Length (m) of Road (16.0m)	346
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	243

KEY PLAN



CLIENT
GOLDFIELDS GROUP

PROJECT
HAYFIELD
352 RIPLEY ROAD, RIPLEY

STAGE 6
RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY
IPSWICH C.C.

NOTES

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

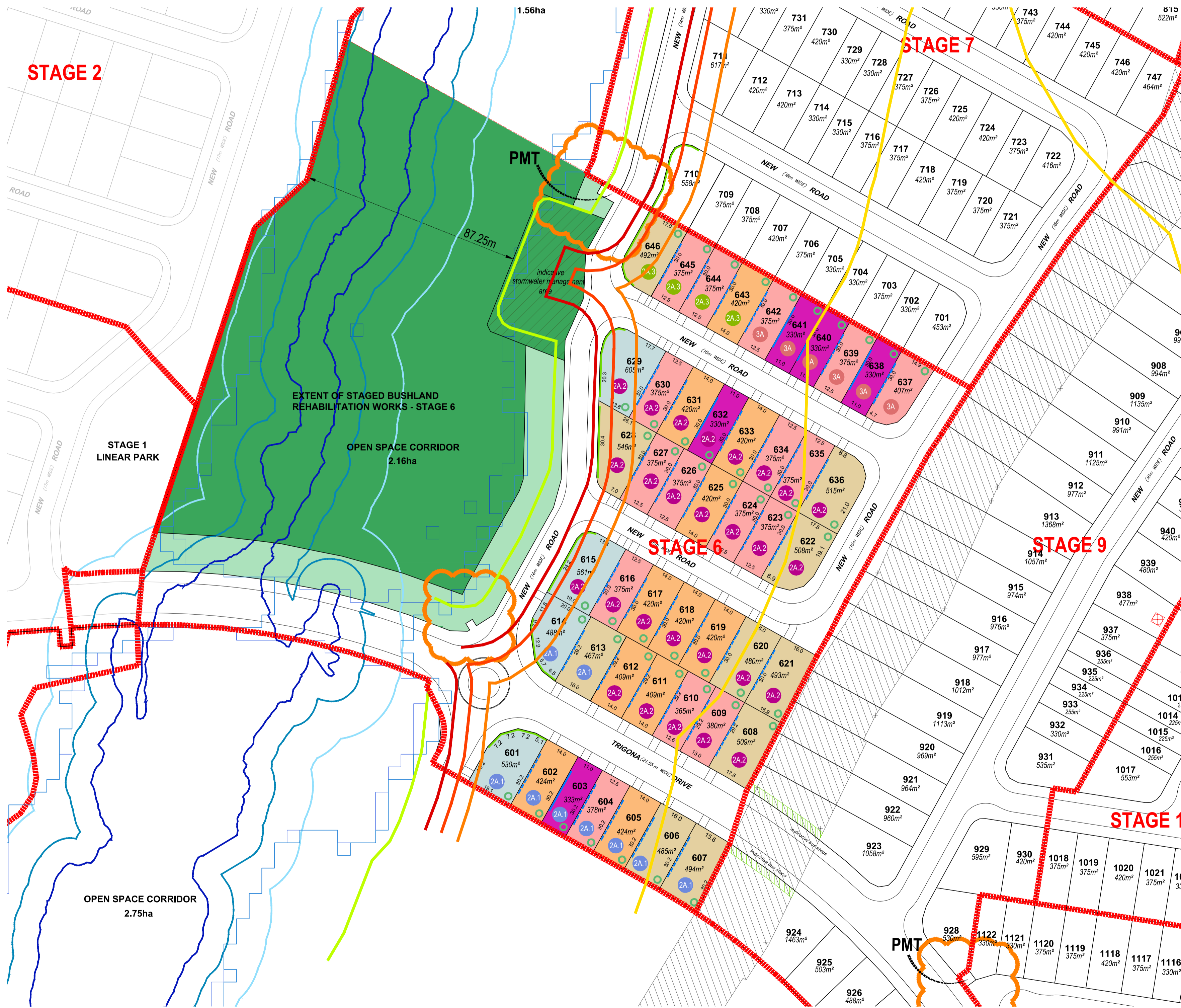
(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - 020 20191004_MP
- PEAK URBAN - 0100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE
- MINING CONSTRAINTS
- AREA 2A.1 - UNCONSTRAINED
- AREA 2A.2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 2A.3 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DMR Borehole Location Plan May 2019, M1.144, 2019.05.16.01
Note: Subject Site sourced from 3366 V Lot Calls dwg
Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 06

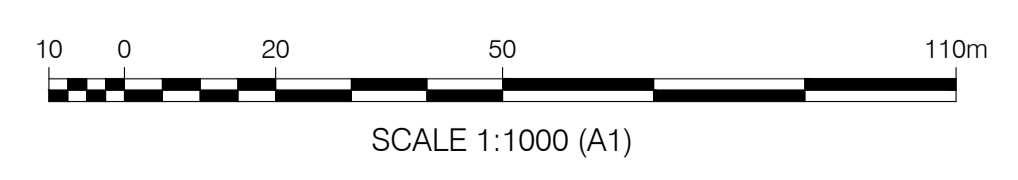


NOTES

- General:**
- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
 - The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
 - Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
 - Setbacks can be greater unless restricted by these Development Controls.
 - Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
 - Boundary setbacks are measured to the walls or support of the structure.
 - Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
 - Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
 - Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
 - On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.
- Notes applicable to Terrace Home Lots:**
- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.
- Building Design:**
- Front doors of dwellings are to address the primary street frontage.
 - Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
 - All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the following design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).
- Parking:**
- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
 - 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
 - Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
 - Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).
- Site Cover:**
- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.
- Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
 - The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
 - Private open space area to have a minimum width of 3m.
- Fencing:**
- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.
- Undermining:**
- No habitable building construction is permitted within the Feldspar Fault Zone.
- Energy:**
- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

NOTE: Boreholes within in Stage 7 to be remediated prior to plan sealing of Stage 6.

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

LANDPARTNERS
surveyors and planners

Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1299
Milton Qld 4064

p: (07) 3842 1000
f: (07) 3842 1001
e: info@landpartners.com.au
www.landpartners.com.au

DRAWN	TKW	DATE	14/12/2023
CHECKED	TKW	DATE	14/12/2023
APPROVED	-	DATE	-/-/-
UDN	BRSS8266-000-2-21		

	TERRACE	VILLA A	VILLA B	COURTYARD	TRADITIONAL	FAMILY	LARGE LOT
Typical Lot Frontage	7.5 - 9.9m	10.0 - 11.9m	12.0 - 13.9m	14.0 - 15.9m	16.0 - 17.9m	18.0 - 19.9m	20m +
Typical Lot Depth	30m	30m	30m	30m	30m	30m	30m
Typical Lot Area	225 - 299m ²	300 - 359m ²	360 - 419m ²	420 - 479m ²	480 - 539m ²	540 - 699m ²	600m ² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	2.0m
Side Boundary Setback							
Built to Boundary	Mandatory	Mandatory	Optional	Optional	Optional	Optional	Optional
Non Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m
Corner Lots - Secondary Road Frontage	0.9m	0.9m	0.9m	0.9m	1.0m	1.5m	1.5m
Maximum Site Cover	75%	75%	60%	60%	60%	60%	60%
Private Open Space	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm
On Site Parking	2	2	2	2	3	3	3
Garage Door Setback	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m

LOT TYPE	Typical Dimensions	Typical area	STAGE 7	
TERRACE LOT	7.5 X 30m	225m ²	0	0%
VILLA A	11m X 30m	330m ²	9	19%
VILLA B	12.5m X 30m	375m ²	17	36%
COURTYARD	14m X 30m	420m ²	17	36%
TRADITIONAL	16m X 30m	480m ²	3	6%
FAMILY	18m X 30m	540m ²	0	0%
LARGE LOT	20m X 30m	600m ²	1	2%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			47	100%

	Stage 7 (ha)
Total Stage Area	4.59
Linear Park	0.23
Neighbourhood Recreation Park	0.00
Open Space Corridor	1.56
Indicative Stormwater Management Area	0.00
Pedestrian Link	0.00
Total Area of Road	0.92
Total Area of Residential Allotments	1.88
Length of New Road	Stage 7 (m)
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	443
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	157

KEY PLAN



CLIENT
GOLDFIELDS GROUP

PROJECT
HAYFIELD
352 RIPLEY ROAD, RIPLEY

STAGE 7
RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY
IPSWICH C.C.

- NOTES
- This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.
 - The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.
 - The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.
 - This plan may not be copied unless these notes are included.

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - 020 20191004_MP
- PEAK URBAN - 0100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE
- MINING CONSTRAINTS
 - AREA 2A.1 - UNCONSTRAINED
 - AREA 2A.2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
 - AREA 2A.3 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
 - AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144, 2019.05.16.01
Note: Subject Site sourced from 3366 V Lot Catics dwg 007.09.20 - Rev 06
Note: BAL Lines as per Bushfire Risk Reducers Report.

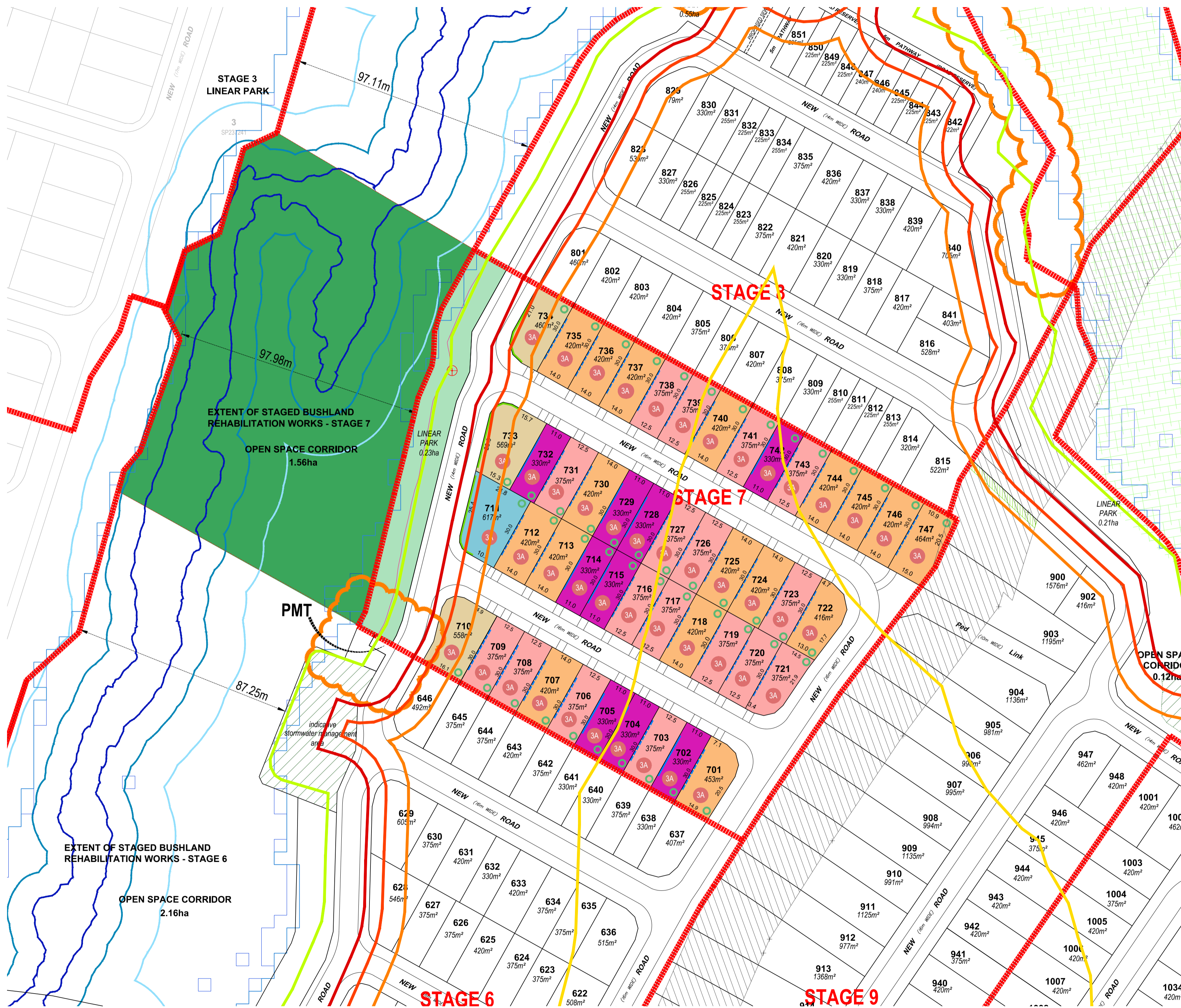
NOT FOR CONSTRUCTION

LANDPARTNERS
surveyors and planners

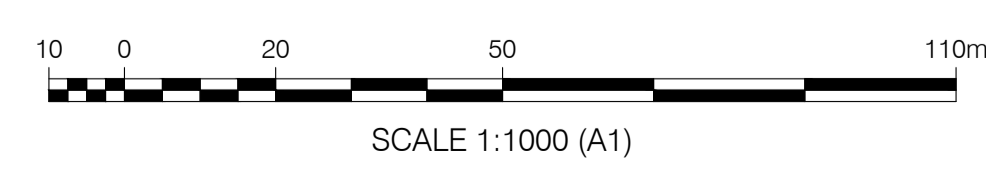
Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

p: (07) 3842 1000
f: (07) 3842 1001
e: info@landpartners.com.au
www.landpartners.com.au

DRAWN	TKW	DATE	14/12/2023
CHECKED	TKW	DATE	14/12/2023
APPROVED	-	DATE	-/-/----
UDN	SHEET 3 OF 7		
BRSS8266-000-2-21			



NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

	TERRACE	VILLA A	VILLA B	COURTYARD	TRADITIONAL	FAMILY	LARGE LOT
Typical Lot Frontage	7.5 - 9.9m	10.0 - 11.9m	12.0 - 13.9m	14.0 - 15.9m	16.0 - 17.9m	18.0 - 19.9m	20m +
Typical Lot Depth	30m	30m	30m	30m	30m	30m	30m
Typical Lot Area	225 - 299m ²	300 - 399m ²	360 - 419m ²	420 - 479m ²	480 - 539m ²	540 - 699m ²	600m ² +
Setback Location	Ground floor First floor	Ground floor First floor	Ground floor First floor	Ground floor First floor	Ground floor First floor	Ground floor First floor	Ground floor First floor
Front Setback	2.4m 2.4m	2.4m 2.4m	2.4m 2.4m	2.4m 2.4m	2.4m 2.4m	2.4m 2.4m	2.4m 2.4m
Rear Setback	0.9m ^a 1.0m ^b	0.9m 1.0m	1.0m 1.5m	1.0m 2.0m	1.5m 2.0m	1.5m 2.0m	1.5m 2.0m
Side Boundary Setback	0.9m ^a 1.0m ^b	0.9m 1.0m	1.0m 1.5m	1.0m 2.0m	1.5m 2.0m	1.5m 2.0m	1.5m 2.0m
Build to Boundary	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m
Non-Built to Boundary	0.0m ^a 0.9m ^b	0.9m 0.9m	1.0m 1.0m	1.0m 1.5m	1.0m 1.5m	1.0m 1.5m	1.0m 1.5m
Corner Lots - Secondary Road Frontage	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	2.0m 2.0m	2.0m 2.0m
Maximum Side Cover	75%	75%	60%	60%	60%	60%	60%
Private Open Space	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm
On Site Parking	2	2	2	2	3	3	3
Garage Door Setback	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m

^aConcessions for open structures supporting pool/per can be located 1.0m from secondary road frontage

Lots 842-847 - Rear setback is a minimum of 4.0m

Lots 848-851 - Rear setback is a minimum of 2.5m

Lot 842 - Non built to boundary Side Boundary Setback is a minimum of 3.5m

LOT TYPE	Typical Dimensions	Typical area	STAGE 8	Stage 8 (ha)
TERRACE LOT	7.5 X 30m	225m ²	22	43%
VILLA A	11m X 30m	330m ²	8	16%
VILLA B	12.5m X 30m	375m ²	6	12%
COURTYARD	14m X 30m	420m ²	9	18%
TRADITIONAL	16m X 30m	480m ²	2	4%
FAMILY	18m X 30m	540m ²	3	6%
LARGE LOT	20m X 30m	600m ²	1	2%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			51	100%

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024

KEY PLAN



GOLDFIELDS GROUP
PROJECT
HAYFIELD
352 RIPLEY ROAD, RIPLEY
STAGE 8
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY
IPSWICH C.C.

NOTES
(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
(ii) LandPartners Pty Ltd accepts responsibility for any loss or damage suffered however arising to any person or corporation who may rely on or rely on this plan in contemplation of the terms of the clauses (i) (ii) or (iv) listed.
(iii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose than the purpose of this application for reconfiguration.
(iv) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.
(v) This plan may not be copied unless these notes are included.

- KEY PLAN / NOTES**
- SUBJECT SITE
 - STAGING BOUNDARY
 - TOP OF BANK
 - SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
 - SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
 - PEAK URBAN - Q20 20191004_MP
 - PEAK URBAN - Q100 20191004_MP
 - EDGE OF VEGETATION
 - BAL 12.5
 - BAL 19
 - BAL 29
 - BAL 45
 - LINEAR PARK
 - NEIGHBOURHOOD RECREATION PARK
 - OPEN SPACE CORRIDOR
 - STORMWATER MANAGEMENT AREA
 - 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
 - BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
 - BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
 - NO DEVELOPMENT AREA - ECOLOGICAL AREA
 - MANDATORY 675 WALL
 - OPTIONAL 675 WALL
 - PREFERRED DRIVEWAY LOCATION
 - PREFERRED PRIVATE OPEN SPACE LOCATION
 - PRIMARY STREET FRONTAGE
 - MINING CONSTRAINTS
 - AREA 2A 1 - UNCONSTRAINED
 - AREA 2A 2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MASON GEOTECHNICAL SERVICES PTY LTD)
 - AREA 2A 3 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MASON GEOTECHNICAL SERVICES PTY LTD)
 - AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MASON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services OMRM Borehole Location Plan May 2015, 181 144, 2019 18, 18 21
Note: Subject Site sourced from 3366 V, Lot Calc'dwg
Note: BAL Lines as per Bufile Risk Reducers Report, 03/20/22, 4644.Plan 6

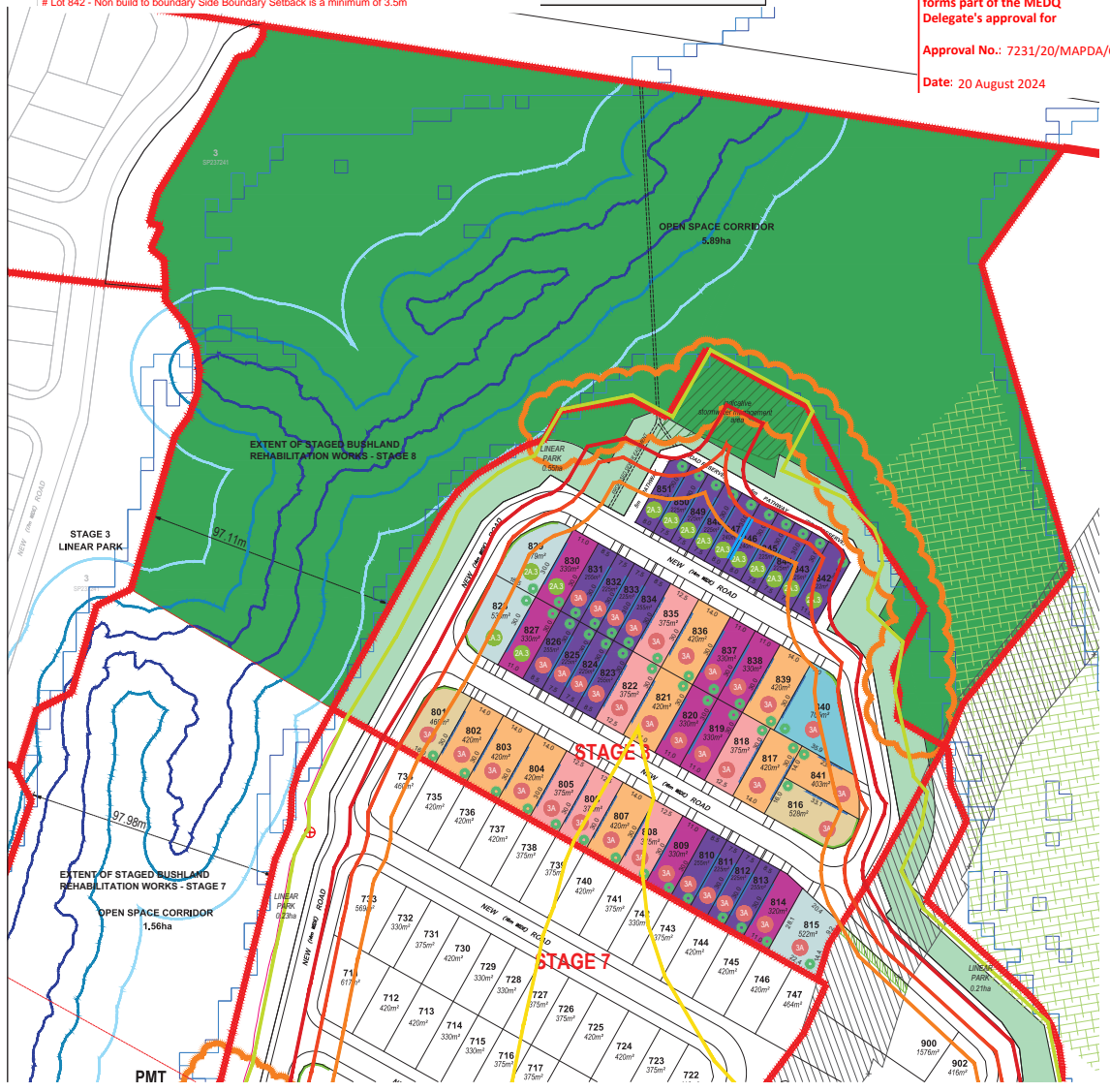
NOT FOR CONSTRUCTION



Brisbane Office
Level 18
18 Little Circle Street
Milton QLD 4064
Phone 08 4864 6200
Fax 08 4864 6201
www.landpartners.com.au
p: 67 3842 1000
f: 67 3842 1001
e: info@landpartners.com.au



DRAWN TKW DATE 14/12/2023
CHECKED TKW DATE 14/12/2023
APPROVED DATE 14/12/2023
UDN BRS8266-000-2-21 SHEET 4 OF 7



SCALE 1:1000 (A1)

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

- NOTES**
- General:**
- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
 - The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
 - Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
 - Setbacks can be greater unless restricted by these Development Controls.
 - Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Built to boundary walls with a frontage equal to or greater than 14.0m applies to garages only.
 - Boundary setbacks are measured to the walls or support of the structure.
 - Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
 - Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
 - Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
 - On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

- Notes applicable to Terrace Home Lots:**
- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.
- Building Design:**
- Front doors of dwellings are to address the primary street frontage.
 - Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
 - All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the following design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

- Parking:**
- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
 - 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
 - Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
 - Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eaves overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complementary colours on the front facade (including the garage door but excluding glass).

- Site Cover:**
- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.
- Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
 - The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
 - Private open space area to have a minimum width of 3m.

- Fencing:**
- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.
- Undermining:**
- No habitable building construction is permitted within the Feldspar Fault Zone.
- Energy:**
- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC 10474.1.1 (d) (i).

- Notes applicable to Terrace Lots 842 to 851:**
- Dwellings include provision for a pedestrian access gate to the pedestrian path at the rear
 - Dwellings include a door and pedestrian access to the pedestrian path at the rear of these lots
 - Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade(s):
 - Verandahs; and/or
 - Porches; and/or
 - Awning and shade structures; and/or
 - Variation to roof and building lines; and/or
 - Use of varying building materials.
 - Frontage treatments for the northern facade (fronting pedestrian path at rear of these lots) are to extend for a minimum of 50% of the width of the facade and windows/glazing must occupy at least 25% of the facade area. Front facades - windows/glazing must occupy at least 25% of the facade area.
 - Unless an alternate solution is approved by the assessment manager, any fencing between the proposed lots and the pedestrian pathway is to be in accordance with the fencing specified in the Pedestrian Link Plan prepared by Saunders Havill Group and dated August 2021 (issue D, as amended in red)
 - Ensure garbage bin areas, rainwater tanks, hot water tanks, gas bottles and air conditioners are appropriately screened. The purpose of the screening is to ensure that these services are not visible from the adjoining pedestrian pathway or street frontage

NOTE: Boreholes within in Stage 8 to be remediated prior to plan sealing of Stage 6.
NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY

	TERRACE	VILLA A	VILLA B	COURTYARD	TRADITIONAL	FAMILY	LARGE LOT
Typical Lot Frontage	7.5 - 9.9m	10.0 - 11.9m	12.0 - 13.9m	14.0 - 15.9m	16.0 - 17.9m	18.0 - 19.9m	20m +
Typical Lot Depth	30m	30m	30m	30m	30m	30m	30m
Typical Lot Area	225 - 299m ²	300 - 399m ²	360 - 419m ²	420 - 479m ²	480 - 539m ²	540 - 699m ²	600m ² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	2.0m
Side Boundary Setback							
Built to Boundary	Mandatory	Mandatory	Optional	Optional	Optional	Optional	Optional
0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	1.0m	1.5m	1.0m	1.5m
Corner Lots - Secondary Road Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Maximum Site Cover	75%	75%	60%	60%	60%	60%	60%
Private Open Space	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm
On Site Parking	2	2	2	3	3	3	3
Garage Door Setback	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m

Concession for open structures supporting post/ pier can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 11	
TERRACE LOT	7.5 X 30m	225m ²	0	0%
VILLA A	11m X 30m	330m ²	9	30%
VILLA B	12.5m X 30m	375m ²	7	23%
COURTYARD	14m X 30m	420m ²	8	27%
TRADITIONAL	16m X 30m	480m ²	4	13%
FAMILY	18m X 30m	540m ²	1	3%
LARGE LOT	20m X 30m	600m ²	1	3%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			30	100%

Stage 11 (ha)	
Total Stage Area	3.71
Linear Park	0.25
Neighbourhood Recreation Park	0.50
Open Space Corridor	0.66
Indicative Stormwater Management Area	0.42
Pedestrian Link	0.00
Total Area of Road	0.68
Total Area of Residential Allotments	1.20

Stage 11 (m)	
Length of New Road	
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	175
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	252

KEY PLAN



CLIENT

GOLDFIELDS GROUP

PROJECT

HAYFIELD 352 RIPLEY ROAD, RIPLEY

STAGE 11 RECONFIGURATION OF A LOT (ROL) AND PLAN OF DEVELOPMENT (POD)

LOCAL AUTHORITY

IPSWICH C.C.

NOTES

- (i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.
- (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.
- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.
- (iv) This plan may not be copied unless these notes are included.

KEY PLAN / NOTES

- SUBJECT SITE
- - - STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q20 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- ⊕ BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- - - OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE
- MINING CONSTRAINTS
- AREA 2A.1 - UNCONSTRAINED
- AREA 2A.2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 2A.3 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144, 2019.05.16.01
Note: Subject Site sourced from 3366 V Lot Calls.dwg
Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 06

NOT FOR CONSTRUCTION



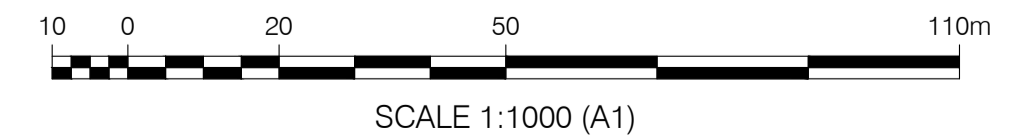
DRAWN	TKW	DATE	14/12/2023
CHECKED	TKW	DATE	14/12/2023
APPROVED		DATE	-/-/-
UDN		SHEET 6 OF 7	
BRSS8266-000-2-21			



NOTES

- General:**
- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
 - The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
 - Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
- Contours listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
 - Setbacks can be greater unless restricted by these Development Controls.
 - Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
 - Boundary setbacks are measured to the walls or support of the structure.
 - Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
 - Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
 - Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
 - On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.
- Notes applicable to Terrace Home Lots:**
- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.
- Building Design:**
- Front doors of dwellings are to address the primary street frontage.
 - Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
 - All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the following design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).
- Parking:**
- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
 - 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
 - Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
 - Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).
- Site Cover:**
- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.
- Private Open Space:**
- Private open space criteria are detailed in the Site Setback Table.
 - The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
 - Private open space area to have a minimum width of 3m.
- Fencing:**
- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.
- Undermining:**
- No habitable building construction is permitted within the Feldspar Fault Zone.
- Energy:**
- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design



NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

	TERRACE		VILLA A		VILLA B		COURTYARD		TRADITIONAL		FAMILY		LARGE LOT	
Typical Lot Frontage	7.5 - 9.9m		10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +	
Typical Lot Depth	30m		30m		30m		30m		30m		30m		30m	
Typical Lot Area	225 - 299m ²		300 - 399m ²		360 - 419m ²		420 - 479m ²		480 - 539m ²		540 - 699m ²		600m ² +	
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
Side Boundary Setback	Mandatory		Mandatory		Optional		Optional		Optional		Optional		Optional	
Built to Boundary	0.0 - 0.2m		0.0 - 0.2m		0.0 - 0.2m		0.0 - 0.2m		0.0 - 0.2m		0.0 - 0.2m		0.0 - 0.2m	
Non Built to Boundary	0.9m		0.9m		1.0m		1.0m		1.0m		1.5m		1.5m	
Corner Lots - Secondary	1.5m		1.5m		1.5m		1.5m		1.5m		2.0m		2.0m	
Road Frontage	1.5m		1.5m		1.5m		1.5m		1.5m		2.0m		2.0m	
Maximum Site Cover	75%		75%		60%		60%		60%		60%		60%	
Private Open Space	Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm	
On Site Parking	2		2		2		3		3		3		3	
Garage Door Setback	5.4m		5.4m		5.4m		5.4m		5.4m		5.4m		5.4m	

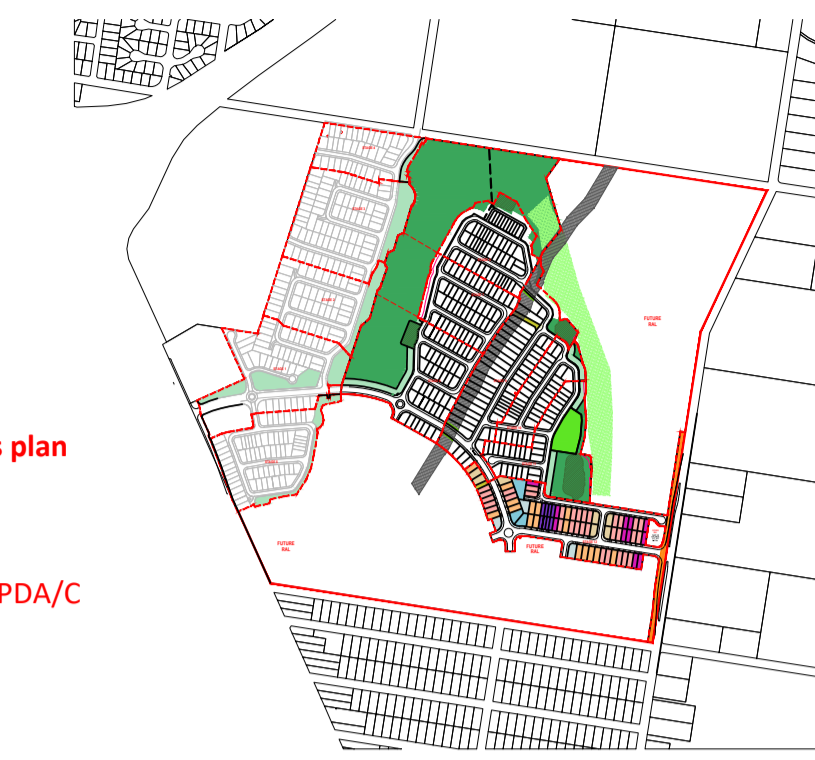
Concession for open structures supporting post/piers can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 12	
TERRACE LOT	7.5 X 30m	225m ²	8	10%
VILLA A	11m X 30m	330m ²	11	14%
VILLA B	12.5m X 30m	375m ²	32	40%
COURTYARD	14m X 30m	420m ²	16	20%
TRADITIONAL	16m X 30m	480m ²	7	9%
FAMILY	18m X 30m	540m ²	3	4%
LARGE LOT	20m X 30m	600m ²	3	4%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			80	100%

	Stage 12 (ha)
Total Stage Area	5.84
Linear Park	0.00
Neighbourhood Recreation Park	0.00
Open Space Corridor	0.00
Indicative Stormwater Management Area	0.00
Pedestrian Link	0.03
Total Area of Road	2.55
Total Area of Residential Allotments	3.26

	Stage 12 (m)
Length of New Road	474
Total Length (m) of Road (21.0m)	409
Total Length (m) of Road (16.0m)	0
Total Length (m) of Road (5.0m)	30
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	0

KEY PLAN



Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 23 February 2024

CLIENT
GOLDFIELDS GROUP

PROJECT
**HAYFIELD
352 RIPLEY ROAD, RIPLEY
STAGE 12
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)**

LOCAL AUTHORITY
IPSWICH C.C.

NOTES

(i) This plan was prepared for the purpose and exclusive use of GOLDFIELDS GROUP to accompany an application to IPSWICH CITY COUNCIL for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered however arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.

(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

KEY PLAN / NOTES

	SUBJECT SITE
	STAGING BOUNDARY
	TOP OF BANK
	SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
	SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
	PEAK URBAN - 000 20191004_MP
	PEAK URBAN - 0100 20191004_MP
	EDGE OF VEGETATION
	BAL 12.5
	BAL 19
	BAL 29
	BAL 40
	LINEAR PARK
	NEIGHBOURHOOD RECREATION PARK
	OPEN SPACE CORRIDOR
	STORMWATER MANAGEMENT AREA
	3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
	BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
	BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
	NO DEVELOPMENT AREA - ECOLOGICAL AREA
	MANDATORY BTB WALL
	OPTIONAL BTB WALL
	PREFERRED DRIVEWAY LOCATION
	PREFERRED PRIVATE OPEN SPACE LOCATION
	PRIMARY STREET FRONTAGE

MINING CONSTRAINTS

- AREA 2A.1 - UNCONSTRAINED
- AREA 2A.2 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 2A.3 - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)
- AREA 3A - MINING CONSTRAINED AREA (REFER TO LATEST GEOTECHNICAL REPORTING PREPARED BY MORETON GEOTECHNICAL SERVICES PTY LTD)

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1.144, 2019.05.16, 01

Note: Subject Site sourced from 3366 V Lot Calc.dwg

Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - 08Rev 0

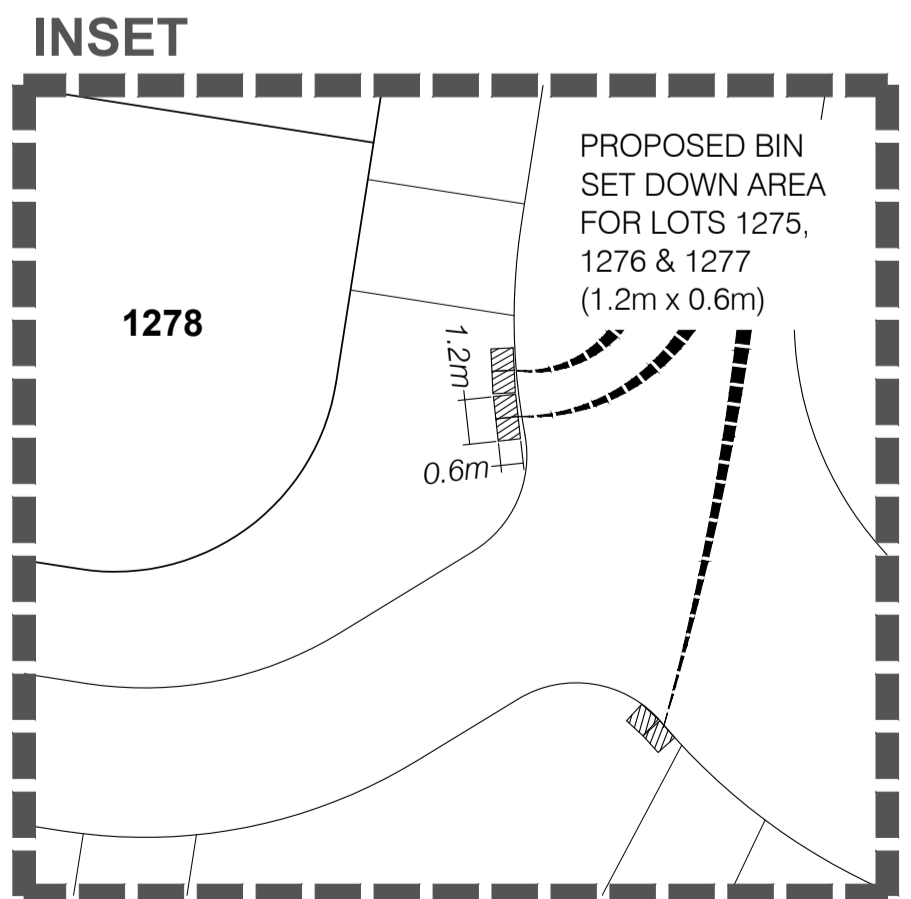
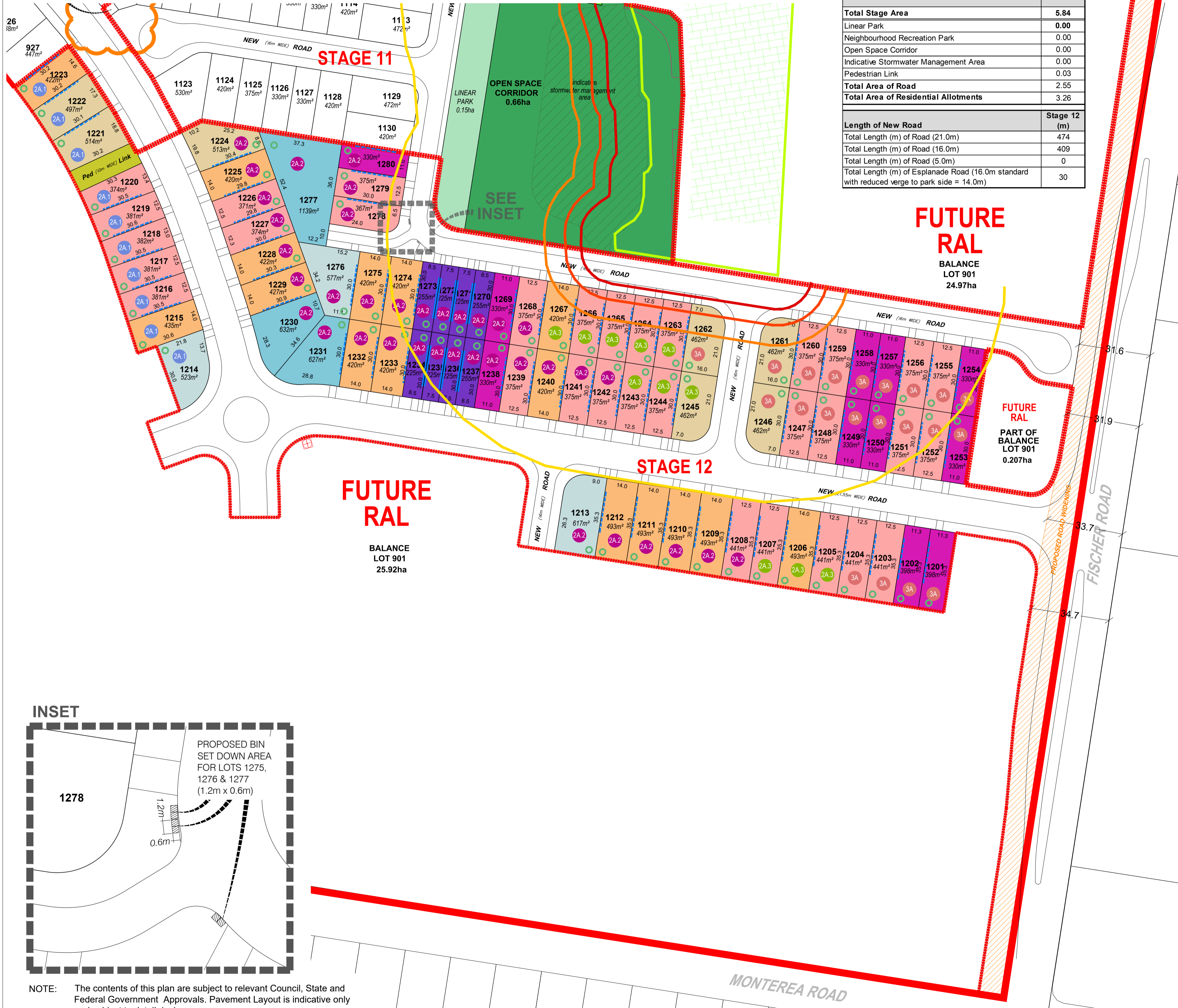
NOT FOR CONSTRUCTION

LANDPARTNERS
surveyors and planners

Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

p: (07) 3842 1000
f: (07) 3842 1001
e: info@landpartners.com.au
www.landpartners.com.au

DRAWN	TKW	DATE	14/12/2023
CHECKED	TKW	DATE	14/12/2023
APPROVED		DATE	---/---/---
UDN			SHEET 7 OF 7
BRSS8266-000-2-21			



NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF NATURAL RESOURCES, MINES AND ENERGY.

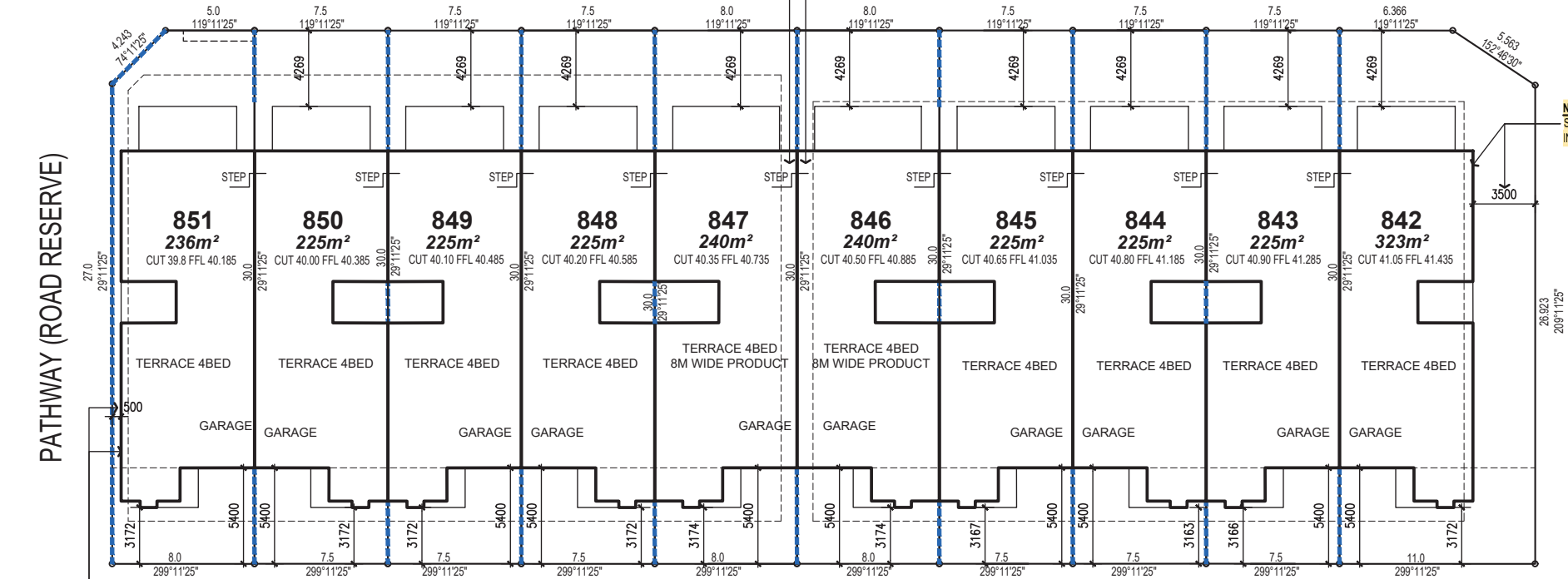
PATHWAY (ROAD RESERVE)

NOTE: RELAXATION REQUIRED FOR SIDE SETBACK BEING BUILT TO BOUNDARY IN LIEU OF THE 900MM REQUIRED

NOTE: RELAXATION REQUIRED FOR SIDE SETBACK ENCROACHING 500MM INTO MINIMUM 4M SETBACK REQUIRED

PATHWAY (ROAD RESERVE)

PATHWAY (ROAD RESERVE)



NOTE: RELAXATION REQUIRED FOR SIDE SETBACK ENCROACHING 400MM INTO MINIMUM 0.9M SETBACK REQUIRED

NEW ROAD

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024

Approved plan relates to Lots 842 to 851 only

SITING NOTES:
 *LOT 842 REQUIRES A RELAXATION FOR REDUCED SETBACK OF 3.5M IN LIEU OF 4M, SITING SUBJECT TO APPROVAL FROM COUNCIL.
 *LOT 851 REQUIRES A RELAXATION FOR REDUCED SIDE SETBACK ENCROACHING 400MM INTO MINIMUM 0.9M SETBACK REQUIRED
 *LOT 848&847 REQUIRES A RELAXATION FOR REDUCED SIDE SETBACK ENCROACHING 900MM INTO MINIMUM 0.9M SETBACK REQUIRED
 *WALL ON BOUNDARY MIN. HEIGHT IS 3.5m AS PER POD - WILL NEED TO MODIFY ROOF DESIGN TO ACCOMMODATE LOWER PARAPET HEIGHTS
 *PROVIDE PEDESTRIAN GATE ACCESS AT REAR OF EACH LOT

SITE PLAN

TERMITES		
FIRE ANTS		
BUSHFIRE		
FLOODING		
CORROSIVE		
TOWN PLANNING		

Buyer note: The dimensions shown on the siting plan are subject to change pending completion of a contour survey of the complete lot and finalisation of the Builders working drawings

AMM	TYPE	DATE	SIGN	CONTRACT DRAWINGS
				ORBIT HOMES _____ DATE _____
				CLIENT _____ DATE _____
				CLIENT _____ DATE _____

PROPOSED RESIDENCE FOR: ORBIT HOMES
 AT: LOTS 842-851 HAYFEILD ESTATE, RIPLEY
 UBD REF: XXXX
 PERMIT N°: XXXX JOB N°: -



BSA Lic. No. 716019
 ORBIT HOMES QUEENSLAND PTY. LTD.
 3916 PACIFIC HIGHWAY
 LOGANHOLME DC QLD 4129
 TEL: 3801 7100 FAX: 3801 7111
 www.orbithomes.com.au

DRAWN:	DATE: -
CHECK:	DATE: XXX
SCALE: 1:250	SHEET No: 1 OF 1
DESIGN	TERRACE
ELEVATION	-
SPECIFICATION	URBANE QUALITY RANGE INCLUSIONS (VERSION 0)

* NOTE DO NOT SCALE THESE DRAWINGS *

NOTE: ALL PAVING TO BE 200mm OFF BOUNDARY UNLESS OTHERWISE NOTED. PAVING ADJACENT TO HOUSE TO BE SET DOWN 170mm FROM FFL UNLESS OTHERWISE NOTED.

PROPOSED DRIVEWAY GRADIENT IS 1

☒ DENOTES METER BOX (& GAS METER WHEN IN SAME LOCATION).
▲ DENOTES GAS METER WHEN IN SEPARATE LOCATION.

NOTE: STORMWATER SHOWN INDICATIVE ONLY & IS SUBJECT TO CHANGE ON SITE.

NOTE: ANY RETAINING WALLS SHOWN ON OR NEAR THE BOUNDARIES ARE TO BE CONSTRUCTED COMPLETELY WITHIN THE SUBJECT PROPERTY INCLUDING ALL ASSOCIATED FOOTINGS AND AG DRAINS

NOTE: ALL WORK SHOWN TO BE CARRIES OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2022"

NOTE: PRE PROVISIONING FOR FIBRE TO THE PREMISES REQUIRED, REFER TO THE ELECTRICAL PLAN FOR FUTHER INFORMATION.

NOTE: PRELIMINARY SITING ONLY. FINAL SITING SUBJECT TO ALL RELEVANT GUIDELINES APPROVAL AND FINAL SITE LEVELS.

SITE INFORMATION

BUILDING PAD CUT/SCRAPE LEVEL: RL XX APPROX.
HOUSE FFL: RL XX
GARAGE FFL: RL XX

WHEN RETAINING WALLS ARE INDICATED ON THE PLANS AN AG DRAIN MUST BE PLACED TO THE REAR OF THE WALL AND SILT PITS TO BE PROVIDED TI EITHER END OF WALL FOR CONNECTION TO LPOD.

SOIL REPORT INFORMATION

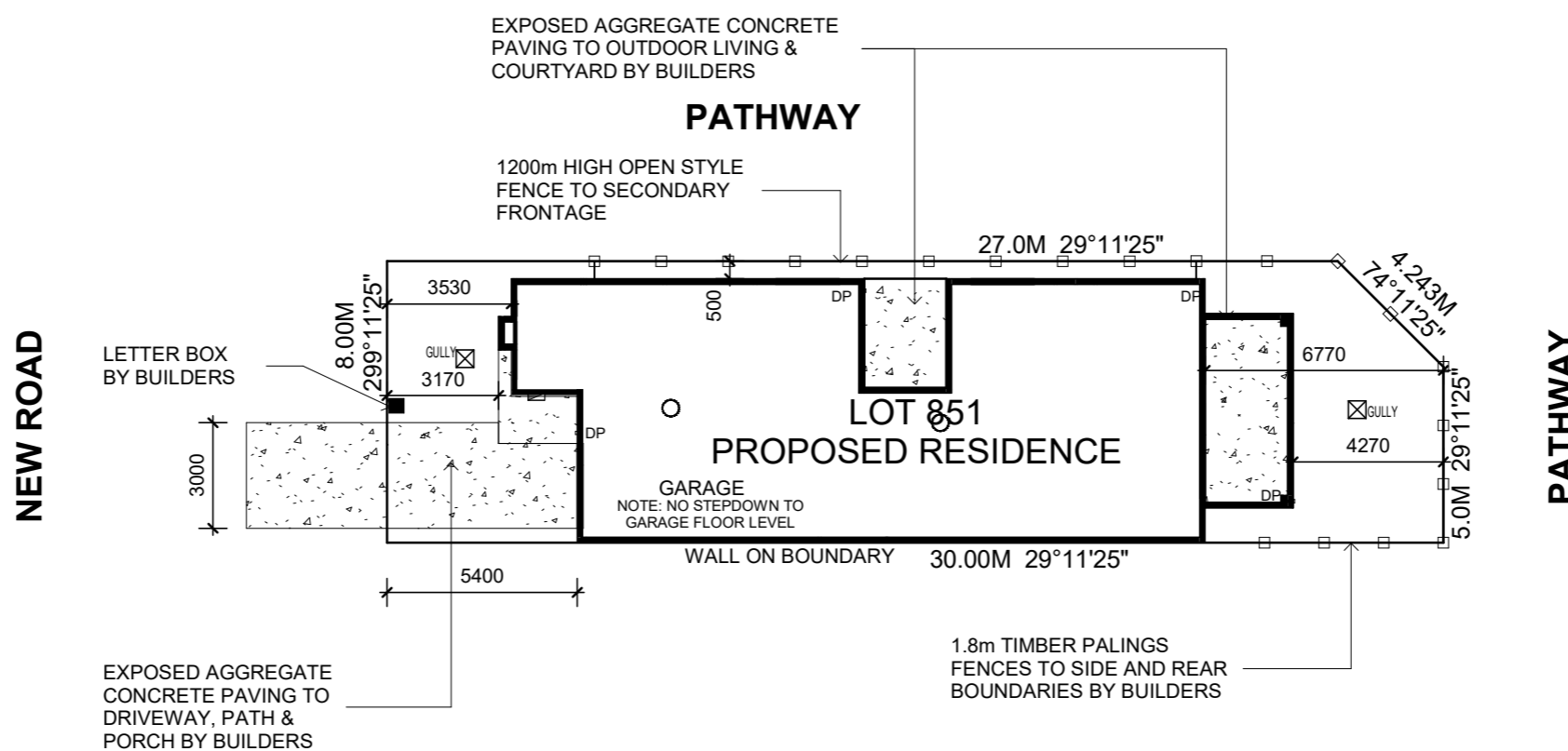
	HOLE 1	HOLE 2	HOLE 3
FILL DETECTED:	TBA	TBA	TBA
DEPTH:	TBA	TBA	TBA
COMPACTION REPORTED RECEIVED:	TBA	TBA	TBA
ROCK:	TBA	TBA	TBA
DEPTH OF ROCK:	TBA	TBA	TBA
REFUSAL:	TBA	TBA	TBA

SITE SURVEY LEGEND		
O/H POWER	TBA	⊕
U/G POWER	TBA	⊗
WATER	TBA	💧
TELECOM	TBA	⬭
GAS	TBA	—GAS—GAS—GAS
SEWER	TBA	⊙
ROOFWATER	TBA	—RW—RW—RW
STORMWATER	TBA	—SW—SW—SW
O/H LIGHT		☀
S/WATER PIT		▩
FIRE HYDRANT		⊠
WATER VALE		⊠
MOUNTABLE KERB		▬▬▬▬
NON-MOUNT. KERB		▬▬▬▬

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024



LOT AREAS:-

SITE:	236.00m ²	
BUILDING COVERAGE:	158.03m ²	70.24%
GARDEN AREA:	46.03m ²	20.46%
PERMEABILITY:	46.03m ²	20.46%

PAVING:-

DRIVEWAY & PATH:	16.70m ²
PORCH:	3.46m ²
OUTDOOR LIVING:	11.98m ²
COURTYARD:	3.90m ²
CROSSOVER:	12.00m ²
TOTAL:	48.04m ²

	EXPOSED AGG. CONCRETE
	CUT BATTER
	FILL BATTER
	SLEEPER RET. WALL
	WATER MARKER & RUN IN
	GAS MARKER & RUN IN
	YARD GULLY
	DIRECTION OF LAND FALL
	SPOON DRAIN WITH DIRECTIONAL ARROWS
	STORMWATER PIPE
	GRATE DRAIN

AMM	TYPE	DATE	SIGN

UPDATE AS REQUIRED	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR: ORBIT HOMES
AT: LOT 851 NEW ROAD, HAYFIELD ESTATE, RIPLEY
UBD REF: .
PERMIT N°: . JOB N°: 001

urbane HOMES
BSA Lic. N°716019
ORBIT HOMES QUEENSLAND PTY. LTD.
3916 PACIFIC HIGHWAY
LOGANHOLME DC QLD 4129
TEL: (07) 3801 7100
www.orbithomes.com.au

SITE PLAN	
TERMITES	YES
BUSHFIRE	LOW
FLOODING	XXX
CORROSIVE	XXX
TOWN PLANNING	XXX

DRAWN: AMA	DATE: 26.07.2024
CHECK: XXX	DATE: XXX
SCALE: 1 : 200	SHEET No: 1 / 20
DESIGN	TERRACE 16 B4
ELEVATION	BURLEIGH
SPECIFICATION	

NOTE: LANDSCAPING IS SHOWN INDICATIVE AND IS SUBJECT TO CHANGE PENDING ANY SITE CONSTRAINTS

NOTE: LANDSCAPING TO BE PROVIDED BY BUILDERS IN FULL ACCORDANCE WITH THE DESIGN GUIDELINES



POLY-TEK KEY LARGO LETTERBOX

NEW ROAD

LETTER BOX BY BUILDERS

EXPOSED AGGREGATE CONCRETE PAVING TO DRIVEWAY, PATH & PORCH BY BUILDERS

EXPOSED AGGREGATE CONCRETE PAVING TO OUTDOOR LIVING & COURTYARD BY BUILDERS
PATHWAY

1200mm HIGH OPEN STYLE FENCE TO SECONDARY FRONTAGE

LOT 851
PROPOSED RESIDENCE

GARAGE
NOTE: NO STEPDOWN TO GARAGE FLOOR LEVEL

1.8m TIMBER PALINGS FENCES TO SIDE AND REAR BOUNDARIES BY BUILDERS

PATHWAY

LANDSCAPING INCLUSIONS		
FRONT LANDSCAPING	<input type="checkbox"/> BY OTHERS	<input checked="" type="checkbox"/> BY BUILDERS
REAR LANDSCAPING	<input type="checkbox"/> BY OTHERS	<input checked="" type="checkbox"/> BY BUILDERS
PAVING	<input type="checkbox"/> BY OTHERS	<input checked="" type="checkbox"/> BY BUILDERS
FENCING	<input type="checkbox"/> BY OTHERS	<input checked="" type="checkbox"/> BY BUILDERS
LETTERBOX	<input type="checkbox"/> BY OTHERS	<input checked="" type="checkbox"/> BY BUILDERS

LEGEND	DESCRIPTION	TOTAL AREA m ²
	EXPOSED AGG. CONCRETE	48.04m ²
	PLANTED GARDEN BED	7.74m ²
	SYNTHETIC TURF	37.35m ²
	PEBBLES	0.39m ²
<input type="checkbox"/>	400X400 PAVERS	9 (QTY)

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024

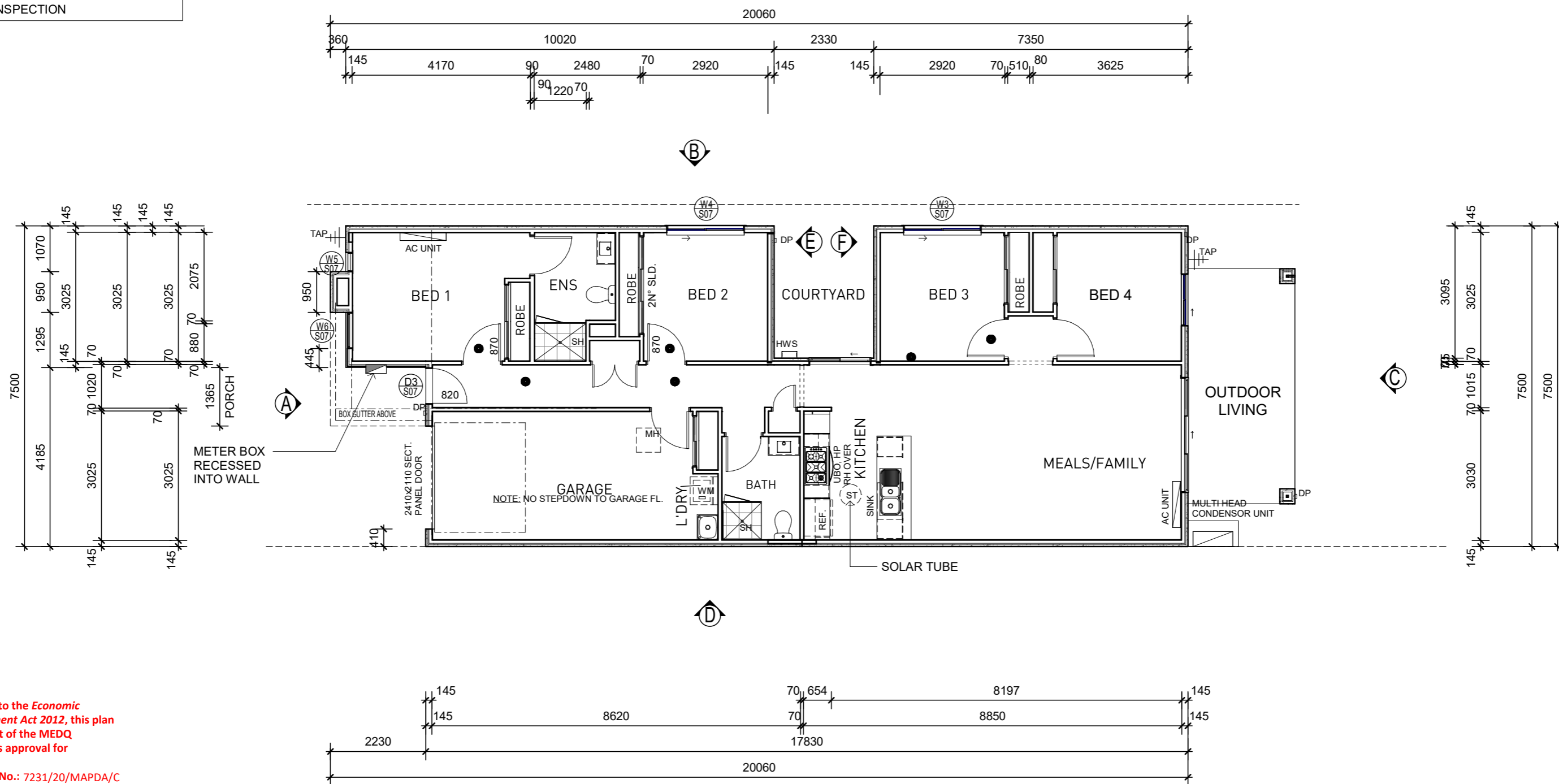
Approved plan relates to Lot 851 only

AMM	TYPE	DATE	SIGN	UPDATE AS REQUIRED	PROPOSED RESIDENCE FOR: ORBIT HOMES	urbane HOMES BSA Lic. N°716019 ORBIT HOMES QUEENSLAND PTY. LTD. 3916 PACIFIC HIGHWAY LOGANHOLME DC QLD 4129 TEL: (07) 3801 7100 www.orbithomes.com.au	LANDSCAPE PLAN	DRAWN: AMA	DATE: 26.07.2024
				ORBIT HOMES _____ DATE _____	AT: LOT 851 NEW ROAD, HAYFIELD ESTATE, RIPLEY			CHECK: XXX	DATE: XXX
				CLIENT _____ DATE _____	UBD REF: .	SCALE: 1 : 200	SHEET No: 2 /20	DESIGN	TERRACE 16 B4
				CLIENT _____ DATE _____	PERMIT N°: .	JOB N°: 001	ELEVATION	BURLEIGH	SPECIFICATION

* NOTE DO NOT SCALE THESE DRAWINGS *

NOTE: REFER TO ENGINEERING FOR MASONRY CONTROL JOINT DESIGN

LINTEL AND BRACING DESIGN BY OTHERS - DETAILS AND COMPUTATIONS TO BE PROVIDED TO BUILDING SURVEYOR PRIOR TO FRAME INSPECTION



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 7231/20/MAPDA/C

Date: 20 August 2024

NOTE: WALL MOUNTED EXTERNAL GARDEN TAPS TO BE @600mm ABOVE THE FFL UNLESS NOTED OTHERWISE

Approved plan relates to Lot 851 only

AMM	TYPE	DATE	SIGN	UPDATE AS REQUIRED	PROPOSED RESIDENCE FOR: ORBIT HOMES AT: LOT 851 NEW ROAD, HAYFIELD ESTATE, RIPLEY UBD REF: . PERMIT N°: . JOB N°: 001	BSA Lic. N°716019 ORBIT HOMES QUEENSLAND PTY. LTD. 3916 PACIFIC HIGHWAY LOGANHOLME DC QLD 4129 TEL: (07) 3801 7100 www.orbithomes.com.au	FLOOR PLAN		DRAWN: AMA	DATE: 26.07.2024	
				ORBIT HOMES			DATE	AREAS		CHECK: XXX	DATE: XXX
				CLIENT			DATE	GROUND FLOOR	120.77 m ²	SCALE: 1 : 100	SHEET No: 4 / 20
				CLIENT			DATE	GARAGE	20.53 m ²	DESIGN	
* NOTE DO NOT SCALE THESE DRAWINGS *						PORCH	3.51 m ²	TERRACE 16 B4			
						O. LIVING	13.22 m ²	ELEVATION			
						TOTAL	158.03 m ²	BURLEIGH			
								SPECIFICATION			